

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
OCTOBER 15, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the September 24, 2024 Planning and Zoning Commission meeting.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(3) **Z2024-041 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

(4) **Z2024-042 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

(5) **Z2024-043 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

(6) **Z2024-044 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

(7) **Z2024-045 (ANGELICA GUEVARA) [APPLICANT IS REQUESTING TO WITHDRAW THE CASE]**

Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of

Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action necessary.

(8) **Z2024-046 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.

(9) **Z2024-047 (BETHANY ROSS) [APPLICANT'S IS REQUESTING TO WITHDRAW THE CASE]**

Hold a public hearing to discuss and consider a request by Eric Heideloff of Enterprise Rental Car for the approval of a Specific Use Permit (SUP) for Automobile Rental on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and take any action necessary.

(10) **Z2024-048 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(11) **SP2024-040 (HENRY LEE)**

Discuss and consider a request by Mckenzie Joseck of BGE, Inc. on behalf of Shawn Valk of Saro Partners, LLC for the approval of a Site Plan for two (2) Office Buildings on a 2.72-acre tract of land identified as Tract 26-4 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 5543 Horizon Road [FM-3097], and take any action necessary.

(VII) **DISCUSSION ITEMS**

(12) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2024-030: Replat for Lot 1, Block B, Lake Rockwall Estates East Addition **(APPROVED)**
- P2024-032: Replat for Lots 12 & 13, Block B Fit Sport Life Addition **(APPROVED)**
- Z2024-035: Zoning Change (C to PD) for Rockwall Heights **(1ST READING; APPROVED)**
- MIS2024-001: Impact Fee Update **(1ST READING; APPROVED)**

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 11, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 24, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I. CALL TO ORDER

Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Dr. Jean Conway, Jay Odom, Ross Hustings, Kyle Thompson and John Hagaman. Staff members present were Director of Planning and Zoning Ryan Miller, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price. Absent from the meeting was Senior Planner Henry Lee.

II. APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

III. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Deckard closed the open forum.

IV. CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

2. Approval of Minutes for the September 10, 2024 Planning and Zoning Commission meeting.

3. P2024-030 (ANGELICA GUEVARA)

Consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Replat for Lot 1, Block B, Lake Rockwall Estates East Addition being a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

4. P2024-032 (BETHANY ROSS)

Consider a request by Kartavya Patel of Triangle Engineering, LLC on behalf of Shane Keilty of Structured REA-Rockwall Land, LLC for the approval of a Replat for Lots 12 & 13, Block B, Fit Sport Life Addition being a 4.624-acre parcel of land identified as a Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing [FM-549] and Fit Sport Life Boulevard, and take any action necessary.

Commissioner Conway made a motion to approve the Consent Agenda. Vice-Chairman Womble seconded the motion which passed by a vote of 6-0 with Commissioner Thompson absent.

V. PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

5. Z2024-035 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The property is currently zoned Commercial (C) District and is also located within the City's IH-30 Overlay (IH-30 OV) District. This means the property can currently be developed

65 with any land uses permitted within the Commercial District without restriction. In the Comprehensive Plan for the property it discusses that it is
66 located within the IH-30 Corridor District and is designated for special commercial corridor land uses. The future land use designation allows for
67 regional restaurant entertainment and retail land uses as primary land uses in residential as secondary land uses. The corridor does not establish a
68 density calculation leading this up to the discretion of the City Council depending on conformance to the overall development plan for the IH-30
69 corridor plan. The plan is geared on bringing regional retail development to the corridor. For the subject property the plan identifies as being an
70 opportunity zone that is ideal for the town center model or regional destinations center model for development. The plan also calls for central open
71 spaces and an eastern entry portal. The applicant is requesting to rezone the subject property from a Commercial (C) District to a Planned
72 Development (PD) District for limited commercial district land uses. This plan was brought forward the last Planning and Zoning meeting on
73 September 10, 2024. Between the Planning and Zoning meeting and City Council the applicant made a number of substantial changes that required
74 to be remanded back to the Planning and Zoning Commission. Through the proposed Planned Development District Ordinance, the applicant is
75 proposing to subdivide the property into four (4) different sub districts. Sub district A will consist of 18 acres of land and be designated for a large
76 format retailer. The large format retailer will have a building footprint of 161,000SF and incorporate 650 parking spaces. Sub district B will
77 be designated for a regional shopping center and consist of 33.215 acres of land and will also incorporate essential open space and restaurants backing
78 to a stage area. Sub district C will consist of 250-unit urban residential condominiums constructed in a wrap format. The condominiums would be
79 individually deeded and metered. The units will wrap around a parking garage and this sub district will have 387 parking spaces. Sub district D will
80 consist of 115 townhomes and a low-rise residential community and consist of 120 condominium units. This sub district will have 435 parking
81 spaces. The density for the Planned Development District will be 485 units over the 67.475 acres which equates to a density of 7.18 units per acre.
82 Looking at the land uses the entire Planned Development District will be tied to the Commercial District land uses and the PD ordinance. However,
83 Sub district C and D will only allow residential land uses that are shown in the concept plan. Sub districts A and B will be permitted limited commercial
84 district land uses. What they mean by limited commercial district land uses is it would take the base zoning designation that the subject property is
85 today which is commercial district and it would take the uses and it would be inconsistent with the corridor plan and then they would specifically
86 take those out of the district. This would include uses like mini-warehouses or automotive dealerships. Things the plan says that would be
87 inconsistent with the types of development they are trying to attract in the corridor. Sub districts A, C and D will be able to go to a Site Plan if PD
88 ordinance is approved and will be required to submit plans that conform to the concept plan and building elevations. The items that have changed
89 for the proposed project since the last planning and zoning meeting. The applicant has added additional trails to increase connectivity between the
90 sub district to create more integrated mixed-use environment. They have also provided essential greenspace that will have restaurants that back
91 into that green space. They're also providing a stage area. They have included language in the Planned Development District Ordinance that will
92 require the construction of 190-foot flag pole as the eastern entry portal. This will mimic the flag at the western entry portal. Staff has included
93 language in the PD ordinance to allow the City to do an elevation study to verify the height to ensure the flags are at the same elevation. Finally, the
94 phasing requirements that the applicant has consented to incorporate language that stipulates that a minimum of 140,000SF of non-residential
95 building area will have to be constructed prior to the urban residential condominiums in sub district C being able to go vertical. That would be the
96 non-residential area specifically in sub district B. Looking at sub district D they have changed the lot mix the number of townhomes has increased
97 from 25 townhomes to 115 while the low-rise residential community has been reduced by 105 units. This results in a net decrease of 15 units across
98 the sub district and lowers the density calculation from 7.41 dwelling units per acre to 7.19 dwelling units per acre. This would also change the
99 number of garages that would be provided in the district. Specifically, in the previous plan it had 58% covered or garage parking. Now it will just be
100 65% of the units will have access to garages. In sub district A the applicant has provided a sign plan that clarifies some of the signage requirements.
101 They have also amended the plan to remove one of the two 700 SF digital signs. They have also reduced the overall number of signs proposed for
102 the sub district and removed all the billboard signs adjacent to I-30. They have provided specific design that have been incorporated into the
103 ordinance and which the majority will conform to the municipal code of ordinances. However, based on the changes that the applicant has provided
104 staff should point out that the plan does appear to generally align to Our Hometown vision 2040 comprehensive plan. This decision does remain a
105 discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. This being a zoning case staff
106 mailed out notices to property owners and occupants within 500 feet of the subject property. As of now, staff has received two of those notices in
107 favor that were in the notification area. Staff had also received 35 responses from property's outside of the notification area but within the City. 3 of
108 those emails were in favor and 32 of those were opposed.

109
110
111 Commissioner Odom asked about the Limited Land Uses if this case passes.

112
113 Commissioner Odom asked Director of Public Works and City Engineer Amy Williams about the infrastructure and what's been required and who
114 has been paying for that.

115
116 Director of Public Works and City Engineer Amy Williams explained that all of the entrances from I-30, every entrance that they're building will have
117 a deceleration lane and they're also building the other half of Justin road and they're installing a signal at Justin and Stodghill and the TIA is almost
118 approved there maybe deceleration lane on one of the Stodghill entrances just not yet. They're also installing a 10 in sewer line across to feed outside
119 of there area per the masters all the way to eastern property line. That will feed the rest of the City that is in that small area of Stodghill. They're also
120 installing 12 in water lines all through the site per there master plan. Also mentioned that the developers would be paying.

121
122 Commissioner Conway asked who would be responsible to take care of the flags.

123
124 Commissioner Husting asked if both the condominiums would be individually Deeded.

125
126 Bill Dahlstrom
127 2323 Ross Avenue
128 Suite 600
129 Dallas, TX 75201

130
131 Mr. Dahlstrom came forward and explained the changes they have made in regards to the project.

133 Mike Ablon
134 8222 Douglas Ave
135 Dallas, TX 75225
136

137 Mr. Ablon came forward and provided additional details in regards to the request.

138
139 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.

140
141 Cierra Ortiz
142 1583 N. Hills Drive
143 Rockwall, TX 75087
144

145 Mrs. Ortiz came forward and expressed being in favor in regards to the project. Explained she still has concerns in regards to the traffic that it could
146 bring, but there are still good things to consider and that would benefit Rockwall.

147
148 Melba Jeffus
149 2606 Cypress Drive
150 Rockwall, TX 75087
151

152 Mrs. Jeffus came forward and expressed that the community has mentioned they do not want multi-family.

153
154 Bobby Gallona
155 1237 Bayline Drive
156 Rockwall, TX 75087
157

158 Mr. Gallona came forward and explained he also does not want multi-family homes. Explained that we are running out of open space and he does
159 not believe this would be a good use. Explained he would like if it was only retail and not multi-family.

160
161 Larry Jeffus
162 5525 Granite Fields Drive
163 Rockwall, TX 75087
164

165 Mr. Jeffus came forward and expressed his concerns in regards to this project.

166
167 Milt Wittig
168 1759 Baywatch Drive
169 Rockwall, TX 75087
170

171 Mr. Wittig came forward and expressed he is not against progress. Would want to go ahead with retail plan but delay or cancel the multi-family
172 portion.

173
174 Patty Griffin
175 2140 Airport Road
176 Rockwall, TX 75087
177

178 Mrs. Griffin came forward and expressed that the infrastructure is not designed for the amount of people this store will bring.

179
180 Mike McElroy
181 605 Limmerhill Drive
182 Rockwall, TX 75087
183

184 Mr. McElroy came forward and expressed that Rockwall is not ready for this kind of development.

185
186 Dan Shaughnessy
187 2580 Rolling Meadows Drive
188 Rockwall, TX 75087
189

190 Mr. Shaughnessy came forward and expressed that it takes about 30 minutes to get out of Rockwall with traffic. Explained that he is against this
191 development.

192
193 Emma Jane Smith
194 420 Natures Point Court
195 Fate, TX 75087
196

197 Mrs. Smith came forward and expressed her concerns in regards to the project.

198
199 Melissa Farr
200 1539 Trowbridge Circle

201 Rockwall, TX 75032

202
203 Mrs. Farr came forward and expressed her concerns in regards to the applicants request.

204
205 Michael Jones
206 808 Eagle Pass
207 Heath, TX 75032

208
209 Mr. Jones came forward and expressed that it would not be a condo and that it would be an apartment.

210
211 Stan Jeffus
212 2606 Cypress Drive
213 Rockwall, TX 75087

214
215 Mr. Jeffus came forward and expressed that an article came out this morning in regards to Princeton City and said the City's growth requires
216 responsible management.

217
218 Carol Crow
219 504 Williams Street
220 Rockwall, TX 75087

221
222 Mrs. Crow came forward and expressed her concerns in regards to the applicants request.

223
224 Bob Wacker
225 309 Featherstone Drive
226 Rockwall, TX 75087

227
228 Mr. Wacker came forward and expressed his concerns in regards to the project.

229
230 Chairman Deckard asked if anyone else who wished to speak to come forward at this time, there being no one indicating such; Chairman Deckard
231 closed the Public Hearing and brought the item back to the commission for discussion or action.

232
233 Mike Ablon came forward and gave a brief summary in regards to statements that were brought up.

234
235 Commissioner Hagaman discussed about replacing apartments with retail instead.

236
237 Commissioner Hagaman asked how much is the starting rate to the apartments in the harbor.

238
239 Commissioner Hagaman asked who the demographic was that lives in those apartments.

240
241 Commissioner Conway asked about the new plan how many total units there are and what was the total before.

242
243 Commissioner Hustings asked about the multi-family and asked if that would disrupt the density requirements.

244
245 Director of Planning and Zoning Ryan Miller mentioned that as it stands today there is no other entitlements through ought the City that allow high
246 density residential. Those would have to be granted through the City Council and it would be a change through plan. The only difference from
247 commercial corridor would be it dos not have a limiting factor.

248
249 After some discussion Vice-Chairman Womble made a motion to approve Z2024-035. Chairman Deckard seconded which passed by a vote of 4-3
250 with Commissioner Thompson, Odom and Hagaman dissenting.

251
252 Commissioner Thompson left the meeting at 7:45PM

253
254 VI. DISCUSSION ITEMS

255
256 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
257 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*
258 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for*
259 *the following cases is October 15, 2024.*
260

261 6. **Z2024-041 (ANGELICA GUEVARA)**
262 Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a *Specific Use Permit (SUP)* for
263 *Residential Infill in an Established Subdivision* on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler’s Landing #16 Addition, City of Rockwall,
264 Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

265
266 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting a residential infill.
267 This home meets all the density and dimensional requirements in a Planned Development 8(PD-8) with the exception of the garage.
268

269 Quadri Akamo
270 4422 Meadow Hawk Drive
271 Arlington, TX 76005
272

273 Mr. Akamo came forward and provided details in regards to his request.
274

275 Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.
276

277 7. Z2024-042 (ANGELICA GUEVARA)

278 Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established
279 Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District,
280 addressed as 515 S. Clark Street, and take any action necessary.
281

282 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting a residential infill.
283 They are currently working through staff comments with the applicant. They are needing to submit a residential plot plan showing the proposed
284 driveway. The applicant has indicated that this will be provided before the next meeting.
285

286 Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.
287

288 8. Z2024-043 (BETHANY ROSS)

289 Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow more than the
290 permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall
291 County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take
292 any action necessary.
293

294 Planner Bethany Ross provided a brief summary in regards to the applicants request. The applicant is requesting approval of excessive structures.
295 There are currently two existing on the property. One is over the maximum accessory structure SF that is allowed in a Single-Family 7 (SF-7) District.
296

297 Chairman Deckard asked what the use of the third accessory structure will be used for.
298

299 Kim Dignam
300 1202 Gideon Way
301 Rockwall, TX 75087
302

303 Kim Dignam came forward and answered Chairman Deckard's question.
304

305 Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.
306

307 9. Z2024-044 (BETHANY ROSS)

308 Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1950-
309 acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed
310 as 806 Austin Street, and take any action necessary.
311

312 Planner Bethany Ross provided a brief summary in regards to the applicants request. The applicant is requesting approval for a Short-Term Rental.
313 This case is different from the last two they've seen. This was not in existence before April 1, 2024. It is not in existence today either.
314

315 Trenton Austin
316 806 Austin Street
317 Rockwall, TX 75087
318

319 Mr. Austin came forward and provided additional details in regards to the applicants request.
320

321 Commissioner Conway asked as to why they should allow it next to the other Short-Term Rental.
322

323 Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.
324

325 10. Z2024-045 (ANGELICA GUEVARA)

326 Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for
327 Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall,
328 Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any
329 action necessary.
330

331 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting a Specific Use
332 Permit for a residential infill. The home meets all the density and dimensional requirements with the exception of the garage orientation. They will
333 also need to ensure it meets the material requirements for the district.
334

335 Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.
336

- 337 11. **Z2024-046 (HENRY LEE)**
 338 Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a *Short-Term Rental*
 339 on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned
 340 Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.
 341
 342 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The applicant is requesting SUP for a**
 343 **Short-Term Rental. It is 950 feet of an existing STR. This is currently not a Short-Term rental and they are requesting or the permission of the SUP.**
 344
 345 **Mike Lund**
 346 **5425 Ranger Drive**
 347 **Rockwall, TX 75032**
 348
 349 **Mr. Lund came forward and provided additional details in regards to the applicants request.**
 350
 351 **Commissioner Conway explained that she wanted criteria in regards to this project.**
 352
 353 **Commissioner Hustings asked if the lot was 50 ft further would it still need to get a SUP.**
 354
 355 **Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.**
 356
 357 12. **Z2024-047 (BETHANY ROSS)**
 358 Hold a public hearing to discuss and consider a request by Eric Heideloff of Enterprise Rental Car for the approval of a Specific Use Permit (SUP) for *Automobile*
 359 *Rental* on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)
 360 District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and take any action necessary.
 361
 362 **Planner Bethany Ross provided brief summary in regards to the applicants request. The applicant is requesting a Specific Use Permit for automobile**
 363 **rental facility. They are remodeling to add a car wash to the side.**
 364
 365 **Commissioner Hustings asked if they're getting a SUP because of the type of business.**
 366
 367 **Director of Planning and Zoning Ryan Miller mentioned that the reason they require the Specific Use Permit (SUP) is because they typically have**
 368 **inventory on site and want to identify where that is and try to mitigate any negative aspects of that storage.**
 369
 370 **Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.**
 371
 372 13. **Z2024-048 (RYAN MILLER)**
 373 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning
 374 Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a
 375 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey,
 376 Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas,
 377 zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the
 378 east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action
 379 necessary.
 380
 381 **Meredith Joyce**
 382 **767 Justin Road**
 383 **Rockwall, TX 75087**
 384
 385 **Mrs., Joyce came forward and explained that they made updates to the plans and have had meetings with neighbors. They have reduced the number**
 386 **of lots. They are currently at 895. They have also lowered their density. Open space has gone up. ¾ to 1.5 acre lots are at 43. 82'-100' lots are at 226.**
 387 **62'-72' lots are 626 and 52' lots have gone away completely. In phases four (4) and six (6) they're the ones that saw the most change. There will be**
 388 **larger amenity center sites. In phase three they added more green space in among lots.**
 389
 390 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request.**
 391
 392 **Chairman Deckard asked how the changes have been perceived.**
 393
 394 **Commissioner Hagaman asked about the list of things the neighbors asked for and how many did they meet.**
 395
 396 **Commissioner Hustings asked if there was prioritization.**
 397
 398 **Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.**
 399
 400 14. **P2024-031 (HENRY LEE)**
 401 Discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Ibrahim Ballout for the approval of a Preliminary Plat for a *Shopping*
 402 *Center* on an 11.78-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned
 403 Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and

404 the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard and SH-276, and take any action
405 necessary.
406

407 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The applicant is requesting a preliminary**
408 **plat. The applicant has provided a landscape plan and have made comments that they have residential adjacency and have been asked to provide**
409 **screening on both sides. They are requesting that they be allowed the alternative screening.**

410 **Commissioner Hagaman asked if it'll all be restaurants.**

411 **Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.**

412
413
414
415 **15. SP2024-040 (HENRY LEE)**

416 Discuss and consider a request by McKenzie Joseck of BGE, Inc. on behalf of Shawn Valk of Saro Partners, LLC for the approval of a Site Plan for two (2)
417 *Office Buildings* on a 2.72-acre tract of land identified as Tract 26-4 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas,
418 zoned Commercial (C) District, addressed as 5543 Horizon Road [FM-3097], and take any action necessary.

419 **McKenzie Joseck**
420 **6605 Fairfield Drive**
421 **Rowlett, TX 75089**

422
423
424 **Mrs. Joseck came forward and explained they're proposing to divide the single lot into two (2) lots that share a single detention pond. The front lot**
425 **with the larger building will be a gym.**

426
427 **Director of Planning and Zoning explained that they should at least have a minimum of 60 feet frontage.**

428
429 **Director of Planning and Zoning Ryan Miller explained that ARB did review. The applicant will have to provide a letter outlining a minimum of four**
430 **(4) compensatory measures for the variances. The ARB did have a couple of recommendations including adding stone to the buildings and providing**
431 **articulation exhibits and also finish the backside of the parapets.**

432
433 **Chairman Deckard advised that this item will go before the commission for discussion or action on October 15, 2024.**

434
435 **16. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

436
437 Director of Planning and Zoning provided a brief update of the outcomes of listed above.

- 438
439
 - Z2024-035: Zoning Change (C to PD) for Rockwall Heights **(REMANDED BACK TO PLANNING AND ZONING COMMISSION)**
 - Z2024-036: Specific Use Permit (SUP) for a *Detached Garage* at 921 N. Alamo Street **(1ST READING; APPROVED)**
 - Z2024-039: Specific Use Permit (SUP) for a *Short-Term Rental* at 610 Christian Court **(DENIED)**
 - Z2024-040: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* for 403 E. Kaufman Street **(1ST READING; APPROVED)**

440
441
442
443
444 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcomes of the above referenced cases at the City Council meeting.**

445
446 **VII. ADJOURNMENT**

447
448 **Chairman Deckard adjourned the meeting at 8:30PM**

449
450 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
451 _____, 2024.

452
453
454 _____
455 Derek Deckard, Chairman

456
457 Attest:
458 _____
Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 15, 2024
APPLICANT: Quadri Akamo; QJ Development, LLC.
CASE NUMBER: Z2024-041; *Specific Use Permit (SUP) for a Residential Infill for 324 Valiant Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. The subject property was platted as Lot 6, Block D, Chandler's Landing, Phase 16 Addition on August 5, 1985 by *Case No. PZ1985-050-01*. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was originally platted.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 324 Valiant Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 20 of the Chandlers Landing Subdivision, which consists of 63 residential lots on 12.11-acres and is zoned Planned Development District 8 (PD-8). North of this is the Signal Ridge #2 Subdivision, which consists of 57 lots on 3.98-acres and is zoned Planned Development District 15 (PD-15).

South: Directly south of the subject property is Valiant Drive, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are various parcels along Valiant Drive developed with single-family homes. South of this is Phase 15 of the Chandler's Landing Subdivision, which consists of 88 residential lots developed with single-family homes on 37.37-acres. All of these properties are zoned Planned Development District 8 (PD-8).

East: Directly east of the subject property are four (4) parcels of land (*i.e. 314, 318, 320, and 322 Valiant Drive*) developed with single-family homes. Beyond this is Valiant Drive, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are various parcels of land developed with single-family homes. These

properties are all part of Phase 16 of the Chandlers Landing Subdivision and are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is one (1) parcel of land [i.e. 326 Valiant Drive] developed with a single-family home. Beyond this is Valiant Drive, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this are various parcels of land developed with single-family homes. These properties are all part of Phase 16 of the Chandlers Landing Subdivision and are zoned Planned Development District 8 (PD-8).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 16 of the Chandler’s Landing Subdivision, which has been in existence since 1985, consists of 59 single-family residential lots, and is 96.61% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Valiant Court compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Valiant Drive	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Valiant Drive are oriented towards Valiant Drive	The front elevation of the home will face onto Valiant Drive.
Year Built	1992-2000	N/A
Building SF on Property	2,534 SF – 4,101 SF	2,492 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	X> 20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	0-Feet and 10-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	X> 10-Feet
Building Materials	Brick, Stone and Siding	Stone Veneer, Brick Veneer
Paint and Color	White, Cream, and Red	N/A
Roofs	Composite Shingles	<i>Composite Shingle</i>
Driveways	Driveways are all in the front and visible from Valiant Drive with the orientations being <i>flat front entry, garage forward entry, side entry, and ‘J’ or traditional swing entry.</i>	The garage will be situated evenly with the front façade of the home.

In this case, the applicant is proposing a home that is not conforming to one (1) standard outlined in the Unified Development Code (UDC). This is as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the garage is setback evenly with the front façade of the single-family home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Chandler’s Landing Subdivision extends from 1992 to present, there are several examples of houses in this area that have a similar garage orientations.

With this being said, the approval of a waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving this requirement. With the exception of this deviation from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Valiant Drive and the proposed building elevations in the attached packet. Staff should note that the proposed home appears to be consistent in terms of architecture compared to the existing homes in the surrounding area; however, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 17, 2024, staff mailed 106 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water’s Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, The Cabanas at Chandlers Landing and Chandler’s Landing Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices in opposition of the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **324 Valiant Dr, Rockwall, TX 75032**

SUBDIVISION **Replat of Part of Chandlers Landing Phase 16** LOT **6** BLOCK **D**

GENERAL LOCATION **324 Valiant Dr, Rockwall, TX 75032**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-008**

CURRENT USE **UNDEVELOPED**

PROPOSED ZONING **PD-008**

PROPOSED USE **SINGLE FAMILY RESIDENCE**

ACREAGE **0.154 AC.** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **QJ DEVELOPMENT LLC**

APPLICANT **QJ DEVELOPMENT LLC**

CONTACT PERSON **QUADRI AKAMO**

CONTACT PERSON **QUADRI AKAMO**

ADDRESS **4422 MEADOW HAWK DRIVE**

ADDRESS **4422 MEADOW HAWK DRIVE**

CITY, STATE & ZIP **ARLINGTON, TX 76005**

CITY, STATE & ZIP **ARLINGTON, TX 76005**

PHONE **682-472-4708**

PHONE **682-472-4708**

E-MAIL **QAKAMO@GMAIL.COM**

E-MAIL **QAKAMO@GMAIL.COM**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED QUADRI AKAMO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 29th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

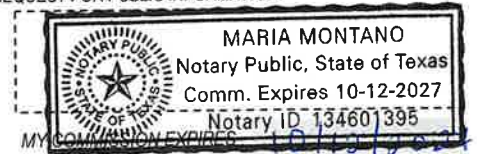
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 29th DAY OF August, 2024.

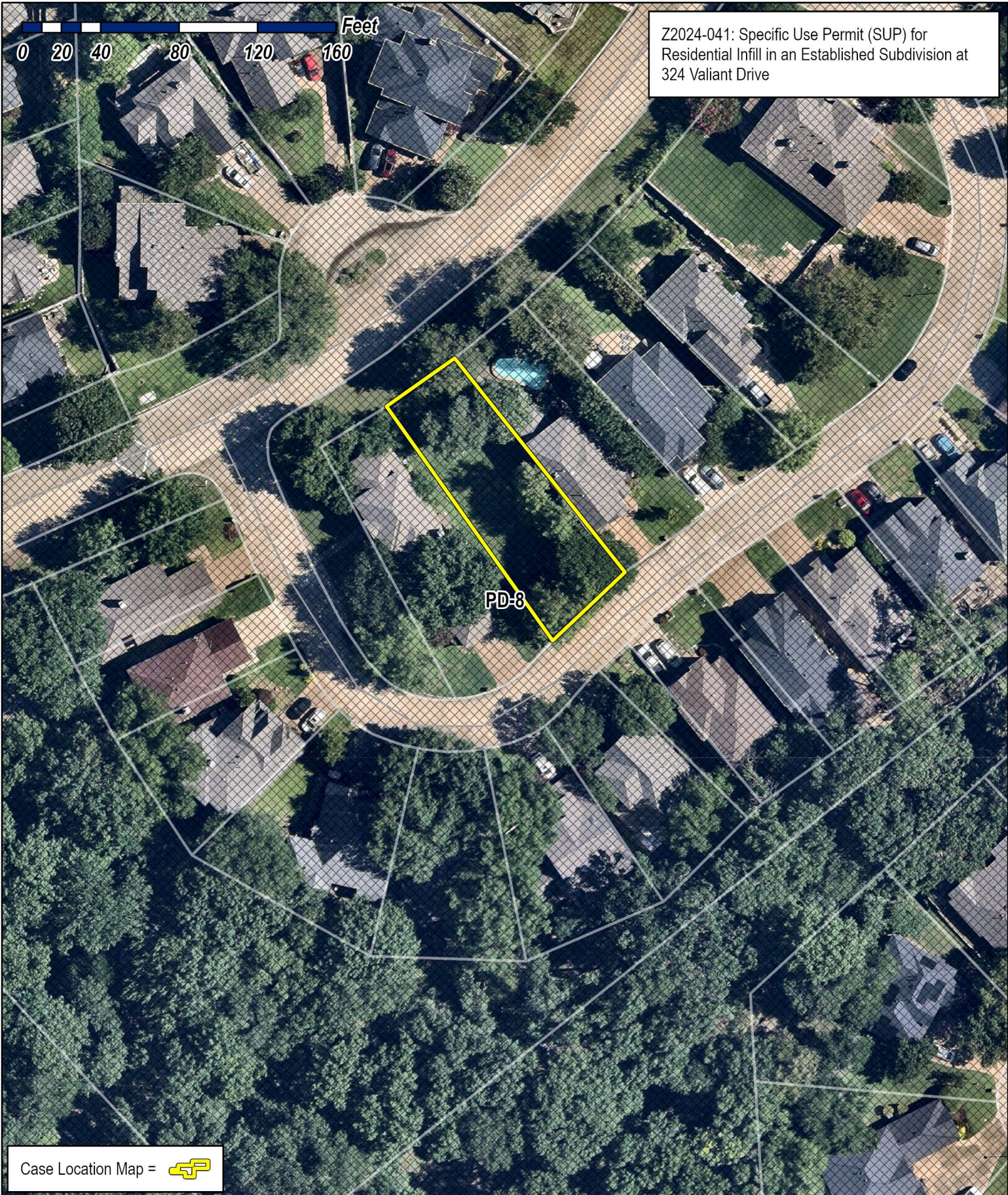
OWNER'S SIGNATURE

Quadri Akamo

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Maria Montano





Z2024-041: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 324 Valiant Drive

PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

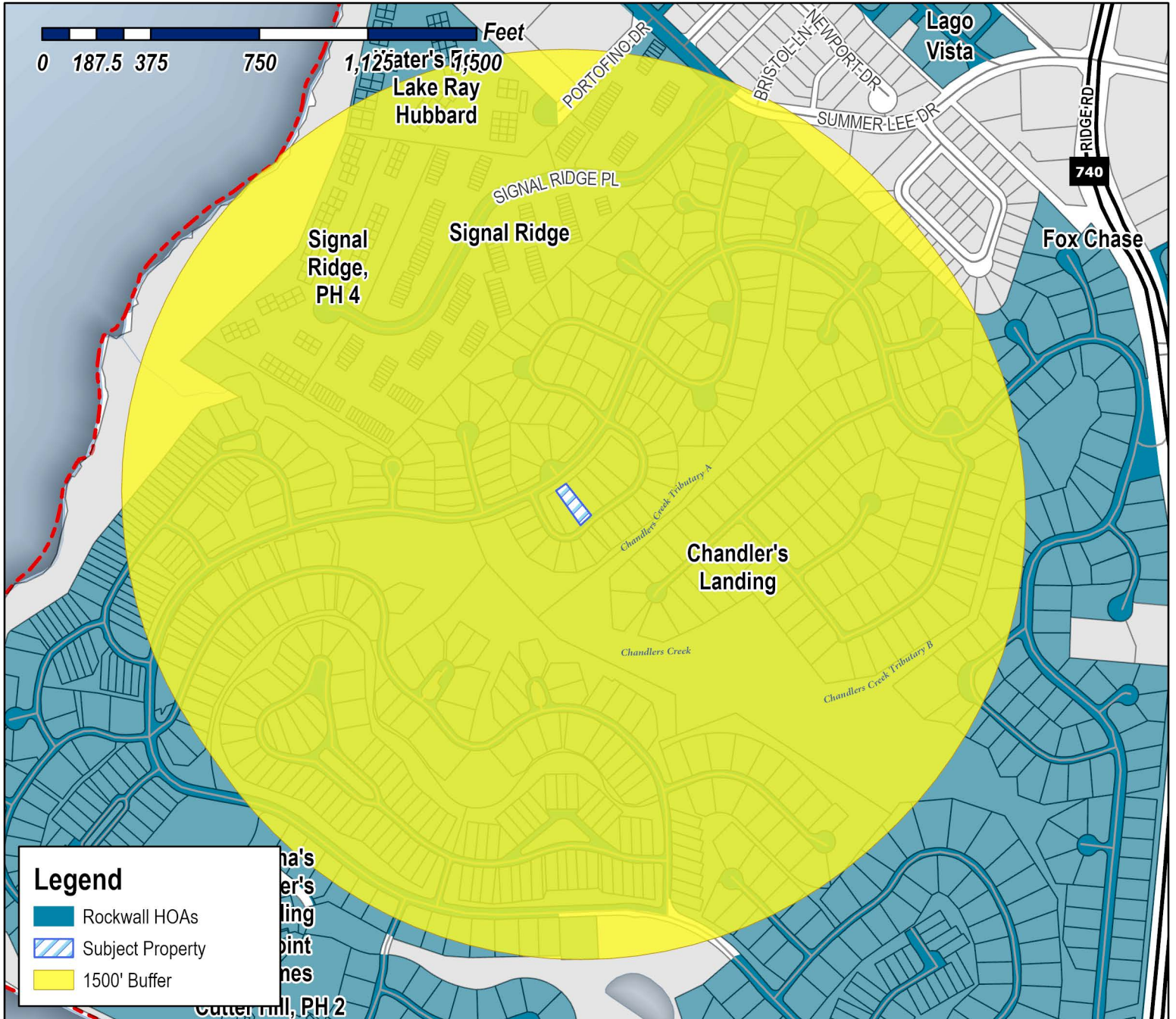




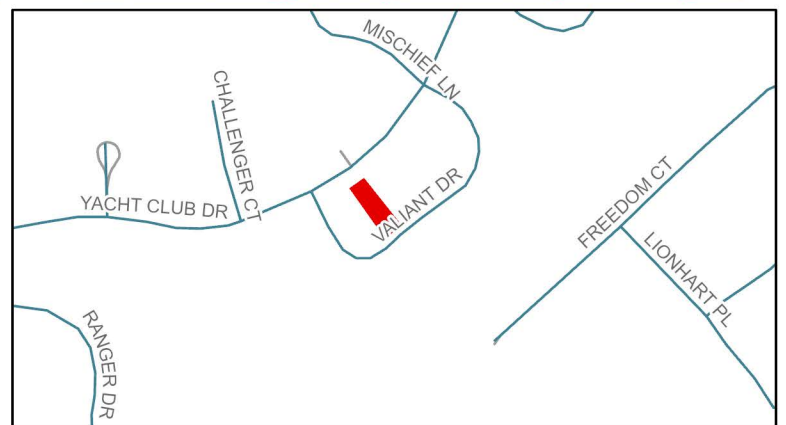
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2024-041
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 324 Valiant Drive



Date Saved: 9/10/2024
 For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-041]
Date: Wednesday, September 18, 2024 10:25:52 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(09.10.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-041: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

Thank you,

Melanie Zavala

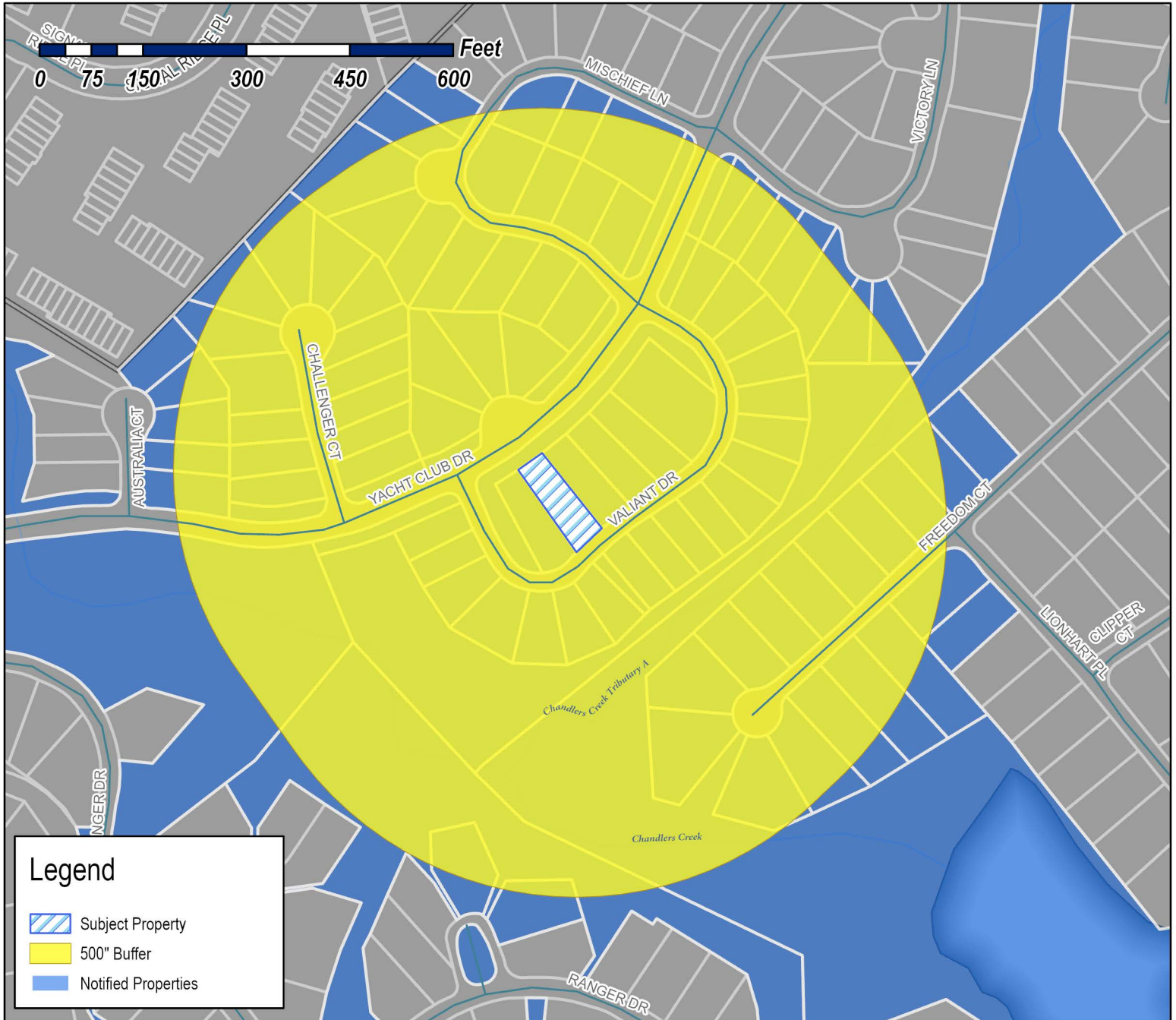
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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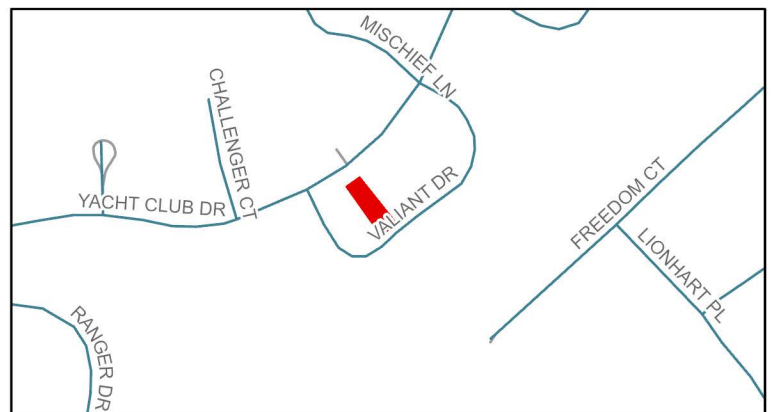
Legend

-  Subject Property
-  500" Buffer
-  Notified Properties

Case Number: Z2024-041
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 324 Valiant Drive

Date Saved: 9/10/2024

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
ROBERT S AND DOLORES I JOHNSON - TRUSTEES
105 MISCHIEF LANE
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

THORNQUIST RACHAEL AND
JOSH HANSEN AND CHRIS-ANN ZIEGLER
113 CLIPPER CT
ROCKWALL, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
113 CLIPPER CT
ROCKWALL, TX 75032

BRACE JUDE
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON
135 FREEDOM COURT
ROCKWALL, TX 75032

RESIDENT
139 FREEDOM CT
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

BAXTER ERIKA LEE GARDNER AND SCOTT
201 FREEDON CT
ROCKWALL, TX 75032

CHAVEZ JEREMY & DEBORAH
205 FREEDOM CT
ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B
209 FREEDOM COURT
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND
SARAH MARIE GOOCH
210 FREEDOM CT
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D
213 FREEDOM CT
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA
214 FREEDOM COURT
ROCKWALL, TX 75032

RESIDENT
217 FREEDOM CT
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET
218 FREEDOM CT
ROCKWALL, TX 75032

MCCASKILL KRISTOFER
221 FREEDOM COURT
ROCKWALL, TX 75032

AGNEW MICHAEL THOMAS AND KARLA KAY
222 FREEDOM COURT
ROCKWALL, TX 75032

LUCIANO ANTHONY
225 FREEDOM COURT
ROCKWALL, TX 75032

BELL LINDA W
226 FREEDOM CT
ROCKWALL, TX 75032

TONICK MICHAEL D & JANET A
229 FREEDOM CT
ROCKWALL, TX 75032

NASH TERRY L & MARGARET SPEAR
232 LIONHART PL
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R
236 LIONHART PL
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE
293 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
295 VICTORY LN
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

CURRA CHRISTOPHER
2975 BLACKBURN ST APT 1321
DALLAS, TX 75204

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

RIVERA LUIS
300 S WATTERS RD APT 127
ALLEN, TX 75103

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

RICHARDS JOAN S
302 SHAMROCK CIR
ROCKWALL, TX 75032

PUSTEJOVSKY MARK
303 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
304 SHAMROCK CIR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

SANFORD TIMOTHY & KELLEE
307 VALIANT DRIVE
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

BOWNE SHAROLDINE K
309 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
311 VALIANT DR
ROCKWALL, TX 75032

LOVELESS JERRY L & TOMMIE H
313 VALIANT DR
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

JOHNSTON CAROLINE
315 VALIANT DR
ROCKWALL, TX 75032

SARAH LOREDO A/K/A SARAH ARCE SPECIAL
COMMUNITY PROPERTY TRUST, A SU
JAIME & SARAH ARCE LIVING TRUST, SARAH
LOREDO/SARAH ARCE-T
315 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
317 VALIANT DR
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

COPPLER GERALD
319 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
320 VALIANT DR
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCHEIN
321 VALIANT DR
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

OWENS MICHAEL V
323 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
324 VALIANT DR
ROCKWALL, TX 75032

ROGERS JACY MARIE AND FRANK MARION
325 VALIANT DRIVE
ROCKWALL, TX 75032

RESIDENT
326 VALIANT DR
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN
327 VALIANT DR
ROCKWALL, TX 75032

IMBURGIA JAMES
329 VALIANT DR
ROCKWALL, TX 75032

STORY BRIAN K AND LANA K
331 VALIANT DRIVE
ROCKWALL, TX 75032

LE TAN T AND VIRGINIA I
333 VALIANT DR
ROCKWALL, TX 75032

DANIEL SANDRA SUE
335 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
337 VALIANT DR
ROCKWALL, TX 75032

MELENDEZ DANIEL ANTHONY & JOVANA NICOLE
4020 KIRKMEADOW LN
DALLAS, TX 75287

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

ROCKWALL YELLOWJACKETS 3533 LLC
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

RESIDENT
5502 AUSTRALIA CT
ROCKWALL, TX 75032

MARSHALL SAMUEL AND DIANA
5502 CHALLENGER CT
ROCKWALL, TX 75032

LINLEY ZACHARY AND ELIZABETH HOLLAND-
5504 AUSTRALIA COURT
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA
5504 CHALLENGER CT
ROCKWALL, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

WILSON STEPHEN MICHAEL AND LISA MARIE
5506 AUSTRALIA COURT
ROCKWALL, TX 75032

YOUNG SHERRY WHITE
5508 AUSTRALIA CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

DESROSIERS RONALD J
5510 AUSTRALIA CT
HEATH, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

JOHNSON GREGORY AND TERESA
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

RESIDENT
5520 CHALLENGER CT
ROCKWALL, TX 75032

CHESLIK EDWIN ALLEN JR AND AMBER NICHOLE
CARREON
5522 CHALLENGER CT
ROCKWALL, TX 75032

CONFIDENTIAL
5526 CHALLENGER COURT
ROCKWALL, TX 75032

SHELTON ROBERT M
5528 CHALLENGER CT
ROCKWALL, TX 75032

WATKINS JAMES & ELLEN
5530 CHALLENGER CT
ROCKWALL, TX 75032

HENDRICKS LORI L
5903 VOLUNTEER PL
ROCKWALL, TX 75032

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

Case No. Z2024-041: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

SECURITY ???
GATED COMMUNITY?
WHY PAY DUES?

Name: JOAN RICHARDS

Address: 302 SHAMROCK CIRCLE

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM



Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-041: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-041: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Loveless
Address: 313 VALIANT

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-041: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

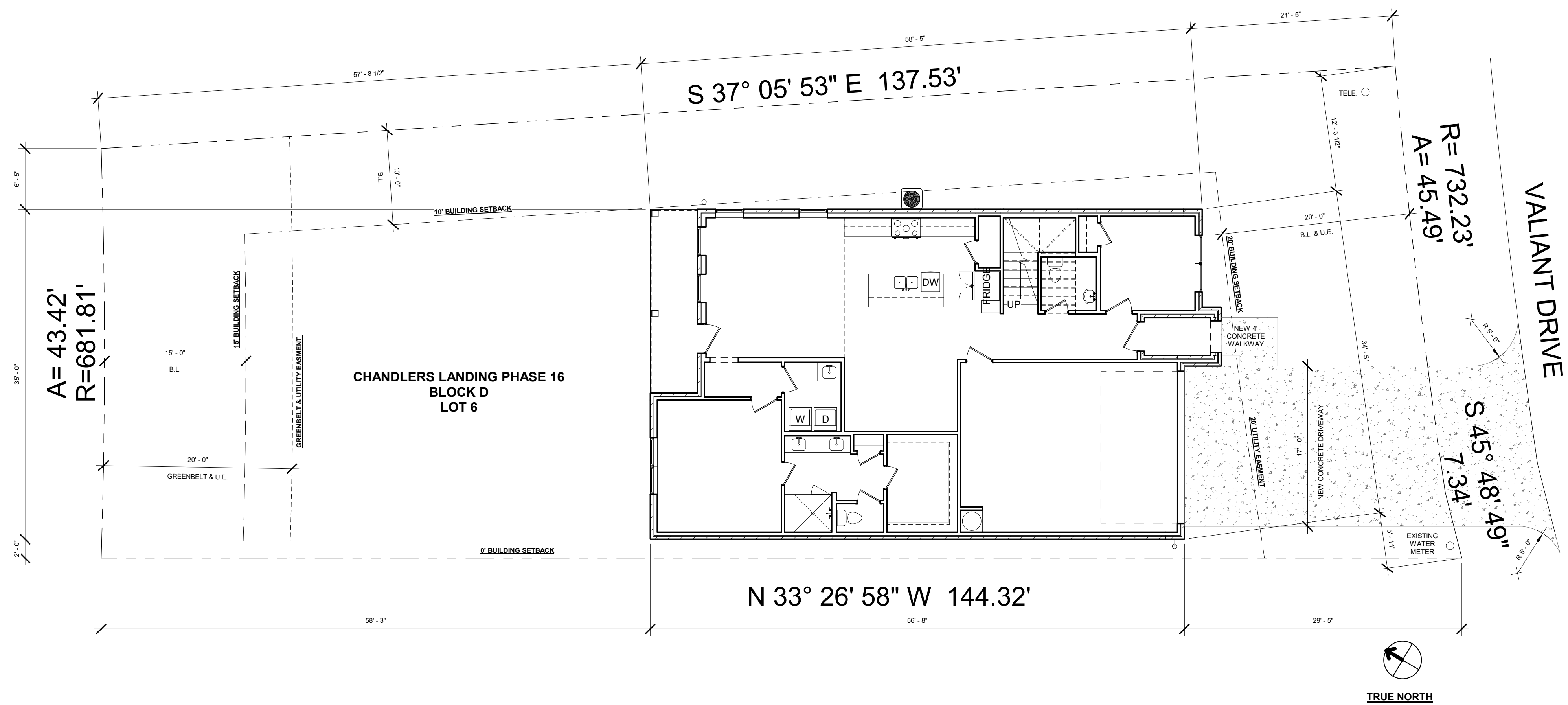
Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



GENERAL SITE PLAN NOTES:

- 1.) LOT DRAINAGE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.
- 2.) BUILDING AREA TO BE CLEARED OF ALL HUMUS, ROOTS, AND VEGETATION. CUT STUMPS A MINIMUM OF 2" BELOW GRADE AND 4" BELOW BEAMS.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.



1 SITE PLAN
1/8" = 1'-0"

Z2024-041

QJ DEVELOPMENT LLC

324 Valiant Drive
Chandlers Landing Phase 16
Block D, Lot 6
Rockwall, Texas 75032

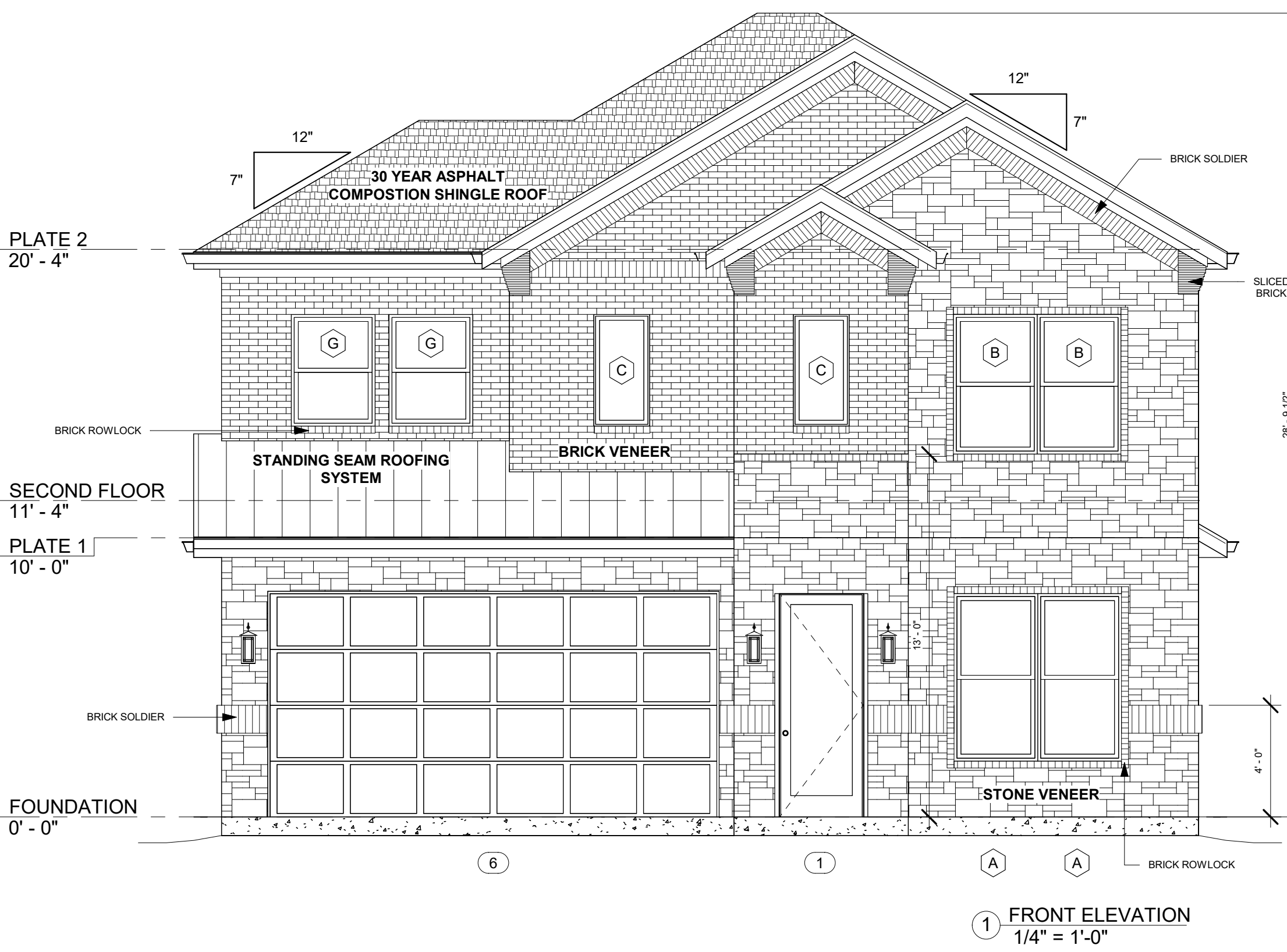
ISSUE FOR PERMIT
August 28, 2024



08/28/2024

Title
SITE PLAN

Sheet
A-001



GENERAL NOTES:
 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
 3.) Contractor must verify all dimensions and scale drawings.

GENERAL ELEVATION NOTES:
 1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

QJ DEVELOPMENT LLC

324 Valiant Drive
 Chandlers Landing Phase 16
 Block D, Lot 6
 Rockwall, Texas 75032

ISSUE FOR PERMIT
 August 28, 2024

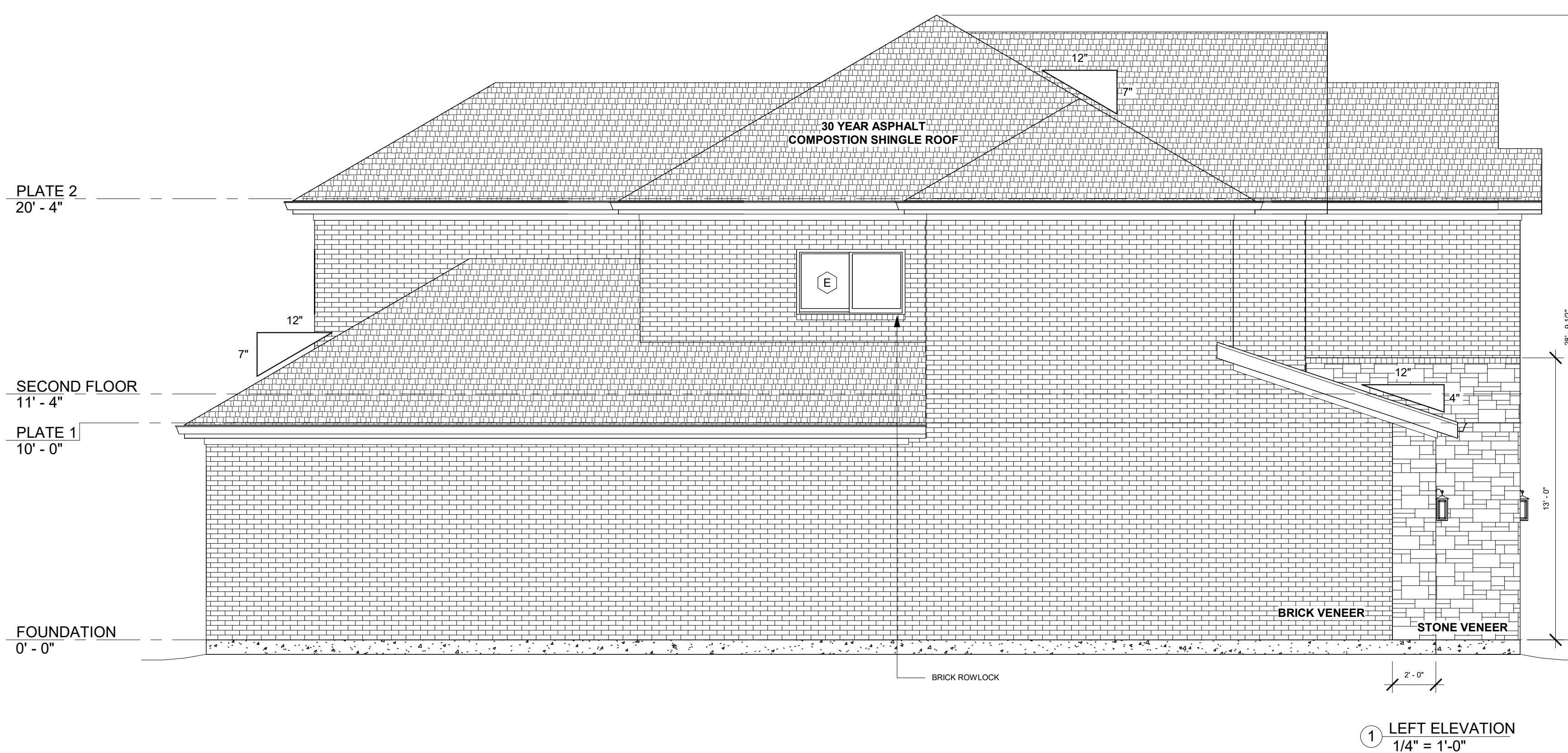
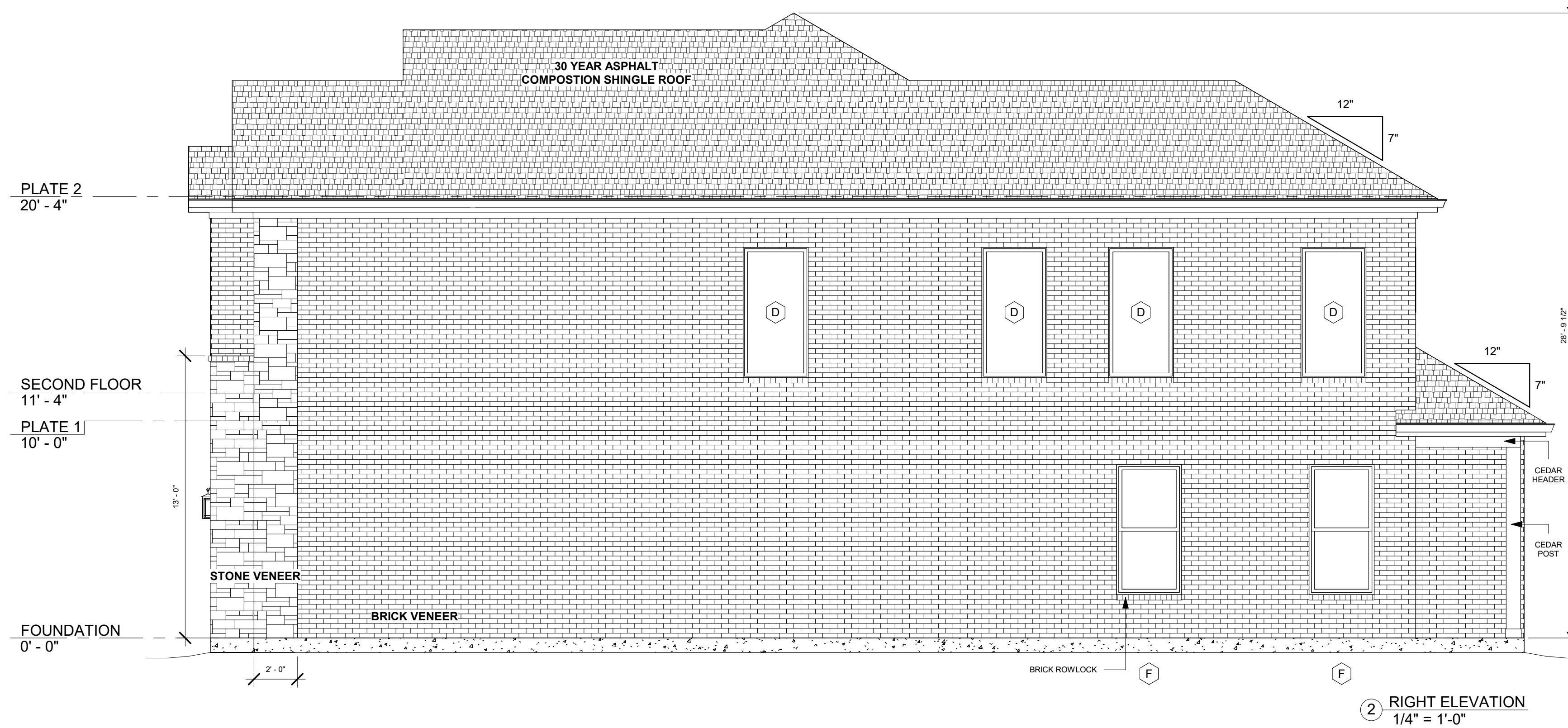


08/28/2024

Title
ELEVATIONS

Sheet
A-301

Z2024-041



GENERAL ELEVATION NOTES:

1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
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QJ DEVELOPMENT LLC

324 Valiant Drive
Chandlers Landing Phase 16
Block D, Lot 6
Rockwall, Texas 75032

ISSUE FOR PERMIT

August 28, 2024



08/28/2024

Title
ELEVATIONS

Sheet
A-302

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DC TEXAS ARCHITECTURE

Z2024-041



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-041

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
301 Valiant Drive	Single-Family Home	1995	3,428	N/A	Brick and Siding
303 Valiant Drive	Single-Family Home	2001	3,289	N/A	Brick
305 Valiant Drive	Single-Family Home	1994	2,788	N/A	Brick
307 Valiant Drive	Single-Family Home	2005	3,331	N/A	Brick and Stone
309 Valiant Drive	Single-Family Home	1992	3,459	N/A	Brick
313 Valiant Drive	Single-Family Home	1994	2,534	N/A	Brick and Siding
315 Valiant Drive	Single-Family Home	2001	3,031	N/A	Brick
314 Valiant Drive	Single-Family Home	1993	4,101	N/A	Brick
318 Valiant Drive	Single-Family Home	2000	3,198	N/A	Brick
320 Valiant Drive	Single-Family Home	1996	3,073	N/A	Brick
AVERAGES:		1997	3,223		



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-041

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



301 Valiant Drive



303 Valiant Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-041

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



305 Valiant Drive



307 Valiant Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-041

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



309 Valiant Drive



313 Valiant Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-041

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



315 Valiant Drive



314 Valiant Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-041

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



318 Valiant Drive



320 Valiant Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.154-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK D, OF THE CHANDLER'S LANDING #16 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS the City Council has received an application for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on a 0.154-acre parcel of land identified as Lot 6, Block D, of the Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, District 8 (PD-8) and more specifically described and depicted in Exhibit 'A' of this ordinance; and the subject property is located at 324 V...

WHEREAS the Planning and Zoning Commission has reviewed the application and the City Council has received a report from the Staff and the City Council has determined that the proposed construction of a single-family home on the subject property is in the public interest and that the proposed construction is consistent with the Unified Development Code (UDC) Ordinance No. 20-02 and the City of Rockwall's Comprehensive Zoning Ordinance.

NOW, THEREFORE BE IT ORDAINED that the City Council hereby amends the City of Rockwall's Unified Development Code (UDC) Ordinance No. 20-02 and the City of Rockwall's Comprehensive Zoning Ordinance.

SECTION 1. The Planned Development District 8 (PD-8) and the Unified Development Code (UDC) Ordinance No. 20-02 of the City of Rockwall, Rockwall County, Texas, as previously amended, are amended to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home on a 0.154-acre parcel of land identified as Lot 6, Block D, of the Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, District 8 (PD-8) and more specifically described and depicted in Exhibit 'A' of this ordinance.

SECTION 2. The Staff Report for the Specific Use Permit (SUP) for Residential Infill in an Established Subdivision is hereby adopted as a resolution of the City Council.

Pursuant to Ordinance No. 8 (PD-8) and Section 03.01 General Residential District Standards of the City of Rockwall District Development Standards, the Unified Development Code (UDC) Ordinance No. 20-02-- as heretofore amended and may be amended in the future -- and the City of Rockwall, Texas.

2.1 OPERATIONAL CONDITIONS

The applicant hereby certifies that the information provided on this application for the Subject Property and the information provided on the application is true and correct.

- 1. The applicant certifies that the Subject Property is shown on the Residential Plot Plan as shown in Exhibit 'B' attached hereto.
- 2. The applicant certifies that the Subject Property is shown on the Building Elevations as shown in Exhibit 'C' attached hereto.
- 3. Other than the information provided on this application, the applicant certifies that the Subject Property is not shown on any other map, plan, or document, including but not limited to the City of Rockwall Specific Use Permits (SUP) map, or any other map, plan, or document, including but not limited to the City of Rockwall Specific Use Permits (SUP) map, or any other map, plan, or document.

2.2 COMPLIANCE

The applicant hereby certifies that the information provided on this application for the Subject Property is true and correct and that the applicant is in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property.

- 1. The applicant certifies that the Building Permit application is complete and that the applicant is in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property. If the applicant is not in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property, the applicant certifies that the applicant will be in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property after proper notice is given.

SECTION 3. The applicant certifies that the information provided on this application is true and correct and that the applicant is in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property.

SECTION 4. The applicant certifies that the information provided on this application is true and correct and that the applicant is in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property.

SECTION 5. A fee of **TWO THOUSAND DOLLARS (\$2,000.00)** is hereby paid to the City of Rockwall for the processing of this application. The fee is non-refundable and shall be used for the processing of this application. If the applicant is not in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property, the applicant certifies that the applicant will be in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property after proper notice is given.

SECTION 6. I hereby certify that the information provided on this application is true and correct and that the applicant is in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property. If the applicant is not in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property, the applicant certifies that the applicant will be in compliance with the City of Rockwall Specific Use Permits (SUP) Ordinance No. 11 Development Applications and Review Procedures, the Unified Development Code (UDC) Ordinance No. 20-02, and the City of Rockwall Subject Property after proper notice is given.

SECTION 7. The Ordinance is hereby adopted and approved.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF NOVEMBER, 2024.

Mayor

ATTEST:

City Secretary

APPROVED AS TO FORM:

City Attorney

1st Reading October 21, 2024

2nd Reading November 4, 2024

**Exhibit 'A':
Location Map**

Address: 324 Valiant Drive

Legal Description: Lot 6, Block D, Chandler's Landing #16 Addition

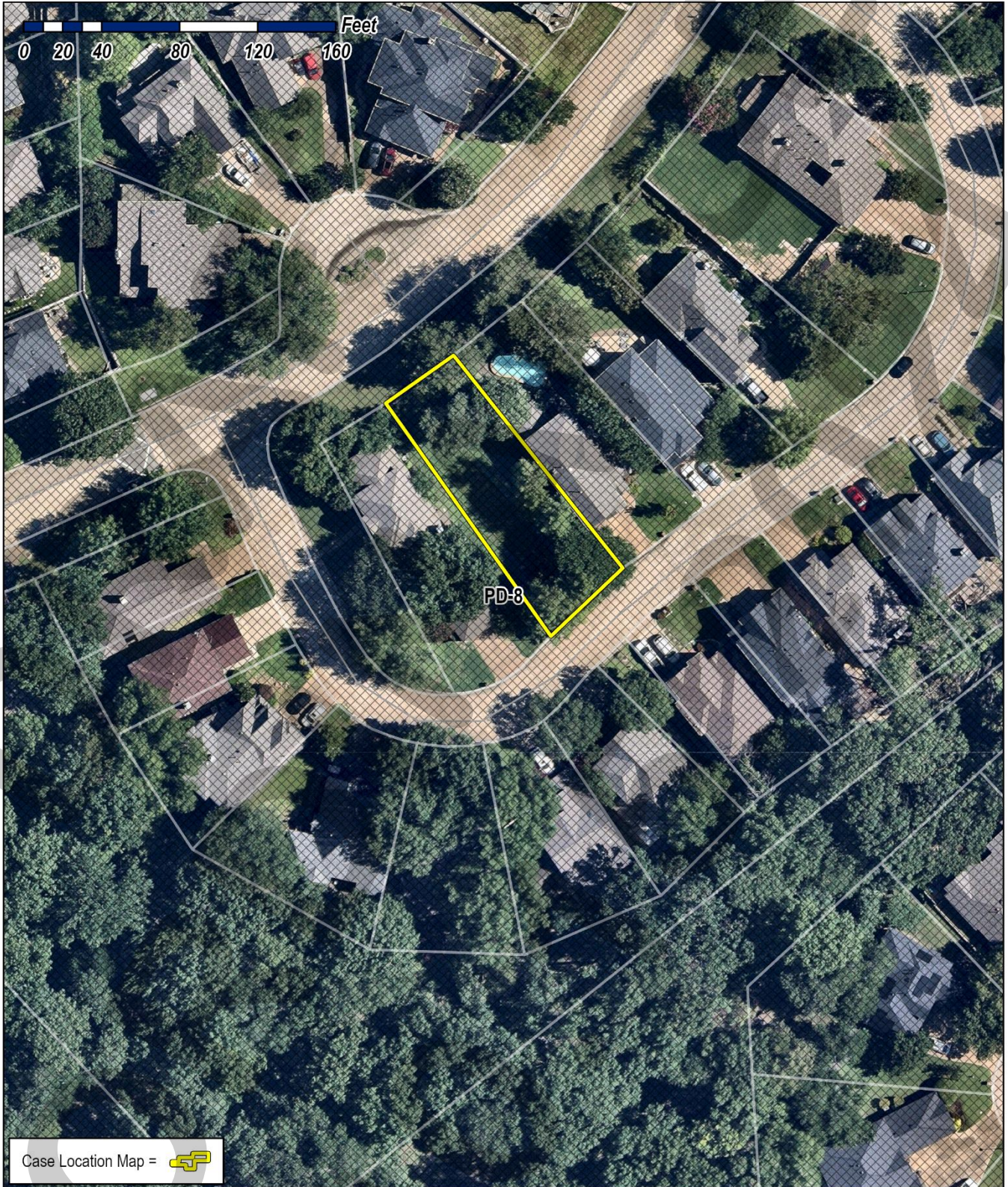
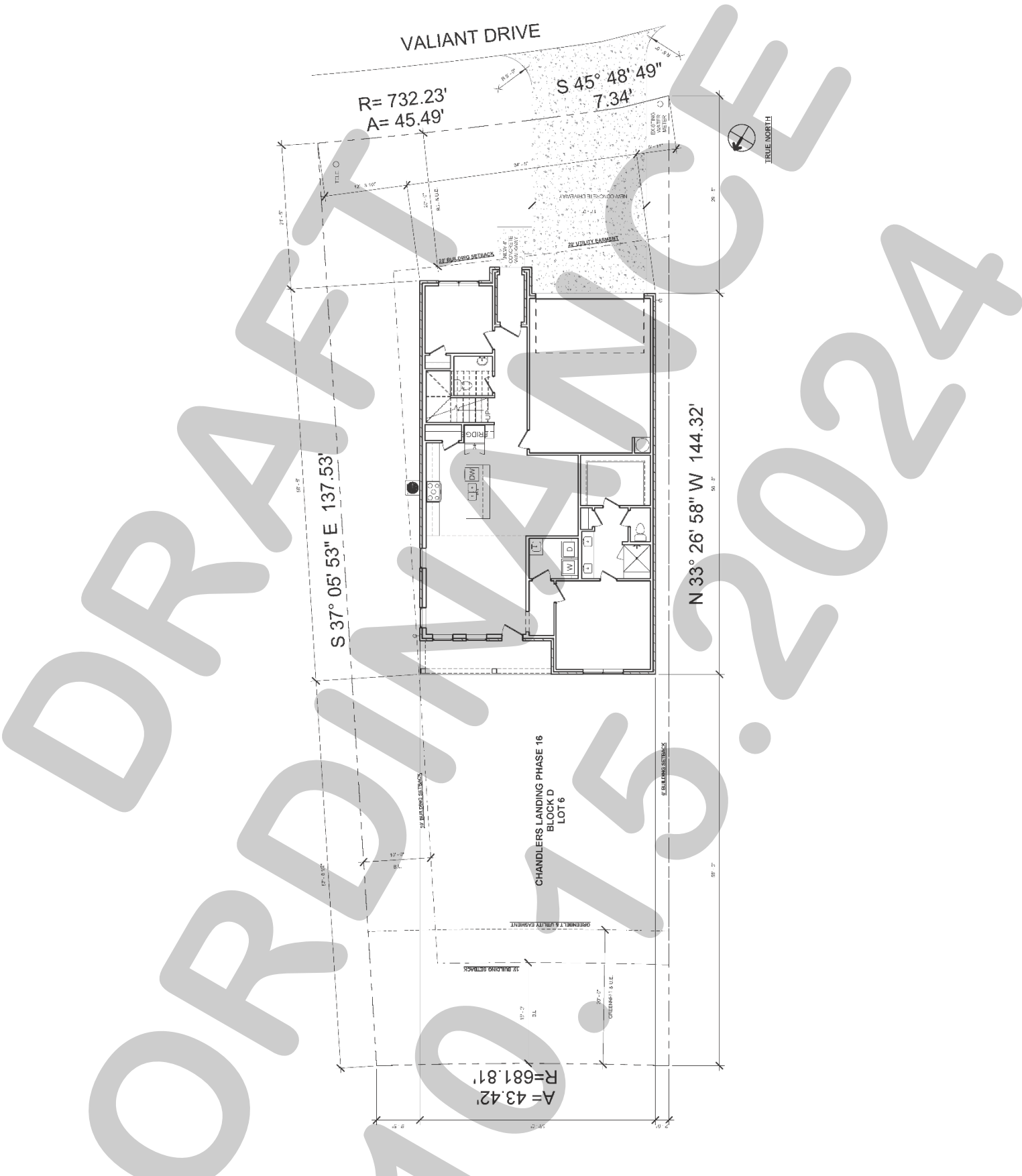


Exhibit 'B':
Residential Plot Plan

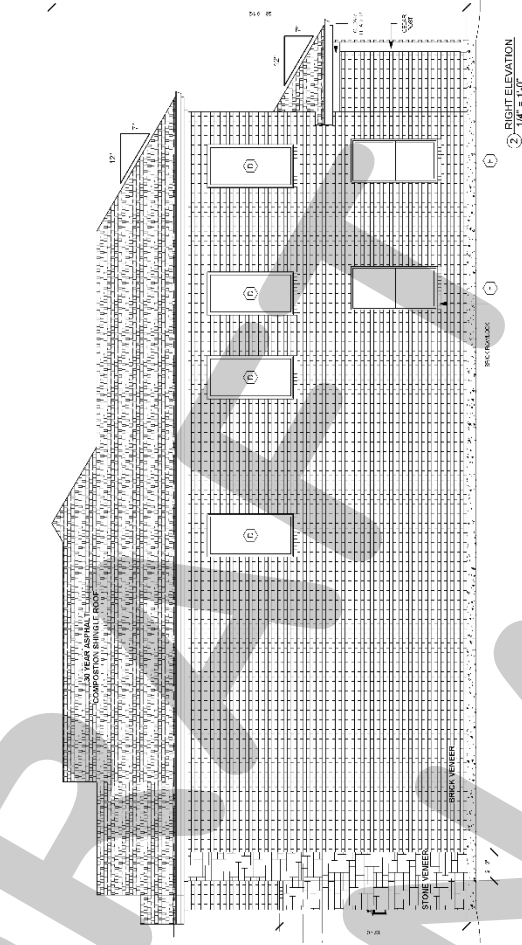


Z2024-041 SUP r 324 V Dr
Ord N 24-XX SUP S-3XX

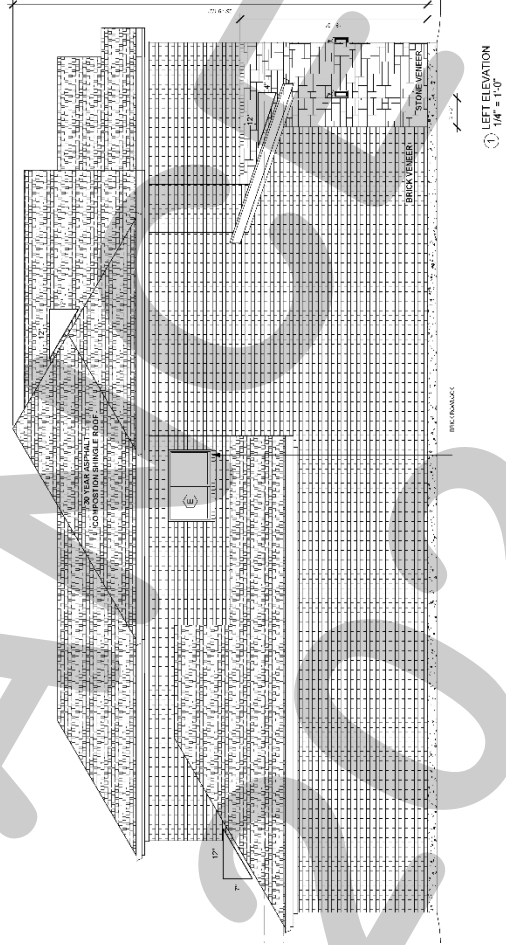
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City of Rockwall, Texas

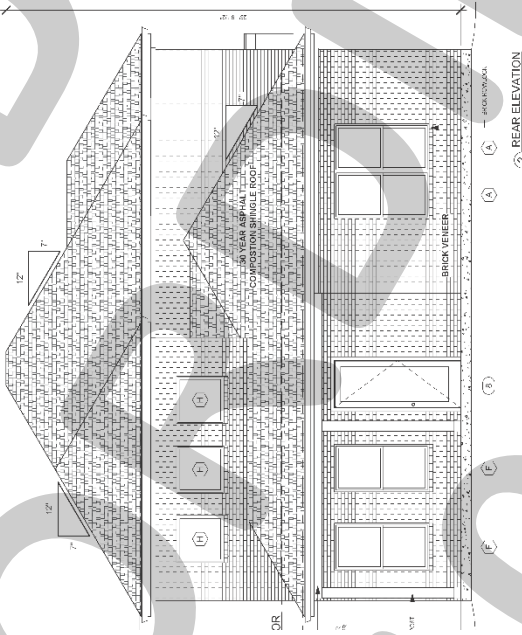
Exhibit 'C':
Building Elevations



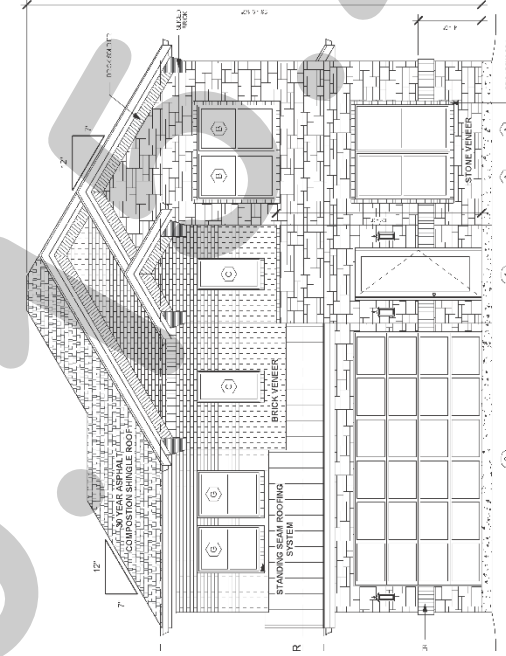
2 RIGHT ELEVATION
1/4" = 1'-0"



1 LEFT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 15, 2024

APPLICANT: Nadia Ramos

CASE NUMBER: Z2024-042; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 515 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the April 1934 Sanborn Map. At some point after April 1934 the subject property was platted as Lot 5 of the J.E. Harris Addition. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 3, 1972. Based on the May 16, 1983 zoning map, this designation changed between January 4, 1972 and July 11, 1985 to a Heavy Commercial (HC) District. This designation changed again between July 12, 1985 and April 5, 2005 to a Two Family (2F) District. The subject property has remained vacant and zoned Two Family (2F) District. On October 10, 2022 the Director of Planning and Zoning approved a minor plat of the subject property establishing Lot 8 of the J.E. Harris Addition [Case No. P2022-045].

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 515 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) parcels of land (*i.e.* 509, 511, & 513 S. Clark Street) developed with single-family homes. These properties are zoned Two Family (2F) District and are part of the J.E. Harris Subdivision. Beyond this is one (1) parcel of land (*i.e.* Lot 107 of the B. F. Boydston Addition) developed with a single-family home zoned Single-Family 7 (SF-7) District. North of this is the Haley and Kyle Subdivision, which consists of two (2) lots and is zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are four (4) parcels of land (*i.e.* 601, 603, 605, & 607 S. Clark Street). These are developed with single-family homes and are zoned Two Family (2F) District. Beyond this is one (1) parcel of land (*i.e.* Lot 1, Block 1, Allen Hogue Addition). This property is zoned Planned Development District 52 (PD-52). Beyond this is E. Boydston Avenue, which is classified as a MC (*i.e.* minor collector, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) tracts of land (i.e. Tract 65 of the R. Ballard Survey, Abstract No. 29 and Tract 30 of the R. Ballard Survey, Abstract No. 29) developed with single-family homes and zoned Single-Family 7 (SF-7) District. Beyond this this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the Las Primeras Subdivision, which consists of four (4) lots and is zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Mill Co. Subdivision, which consists of 17 lots on 6.92-acres. These properties are zoned Single-Family 7 (SF-7) District. Also west of this is St. Mary's Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the J.E. Harris Addition and within 500-feet of the Mill Co. and B.F. Boydston Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consist of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within 500-feet of an established subdivision and being zoned Two Family (2F) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Clark Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face S. Clark Street
Year Built	1945 - 2023	N/A
Building SF on Property	400 SF – 10,400 SF	2,573 SF
Building Architecture	Mostly Single-Family Homes, One (1) Duplex, and Five (5) Commercial Buildings	Comparable Architecture to the Surrounding New Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	Greater Than Ten (10) Feet
Building Materials	Brick, Siding, and Metal	Board & Batten Siding and Brick
Paint and Color	Blue, Grey, White, Red, Yellow, Brown	White
Roofs	Composite & Asphalt Shingles and Metal Roofs	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and some with no garages.	The proposed home will not incorporate a garage.

In this case, the applicant is proposing a home that is not conforming to one (1) standard outlined in the Unified Development Code (UDC). This is as follows:

- (1) Garage. According to Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “A two car garage is required, “and “Two (2) off-street parking spaces plus one (1) garage space parking space for each dwelling unit is required.” In this case, the proposed home does not incorporate a garage which will require a variance from the Planning and Zoning Commission. When looking at this non-conformity, staff should point out that most of the housing along S. Clark Street do not incorporate garages and staff does not feel this is will create a negative impact within the subdivision.

With this being said, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving this requirement. With the exception of this deviation from the *District Development Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On September 17, 2024, staff mailed 95 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner’s Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices back regarding the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 515 S Clark Rockwall TX 75187

SUBDIVISION: _____ LOT: _____ BLOCK: _____

GENERAL LOCATION: Downtown Rockwall area

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Residential CURRENT USE: empty lot

PROPOSED ZONING: Single family Res PROPOSED USE: single family home

ACREAGE: 1.8 LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Anthony + Nadia Ramos</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Anthony + Nadia Ramos</u>
CONTACT PERSON	<u>Anthony Ramos</u>	CONTACT PERSON	<u>Anthony Ramos</u>
ADDRESS	<u>515 S Clark st</u>	ADDRESS	<u>515 S Clark st</u>
CITY, STATE & ZIP	<u>Rockwall TX 75187</u>	CITY, STATE & ZIP	<u>Rockwall TX 75187</u>
PHONE	<u>469 544 1369</u>	PHONE	<u>469 544 1369</u>
E-MAIL	<u>info@the whitesparrow properties.com</u>	E-MAIL	<u>info@the whitesparrow properties.com</u>

NOTARY VERIFICATION [REQUIRED]

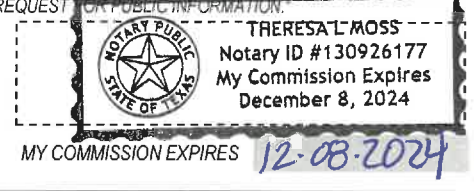
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Nadia + Anthony Ramos [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

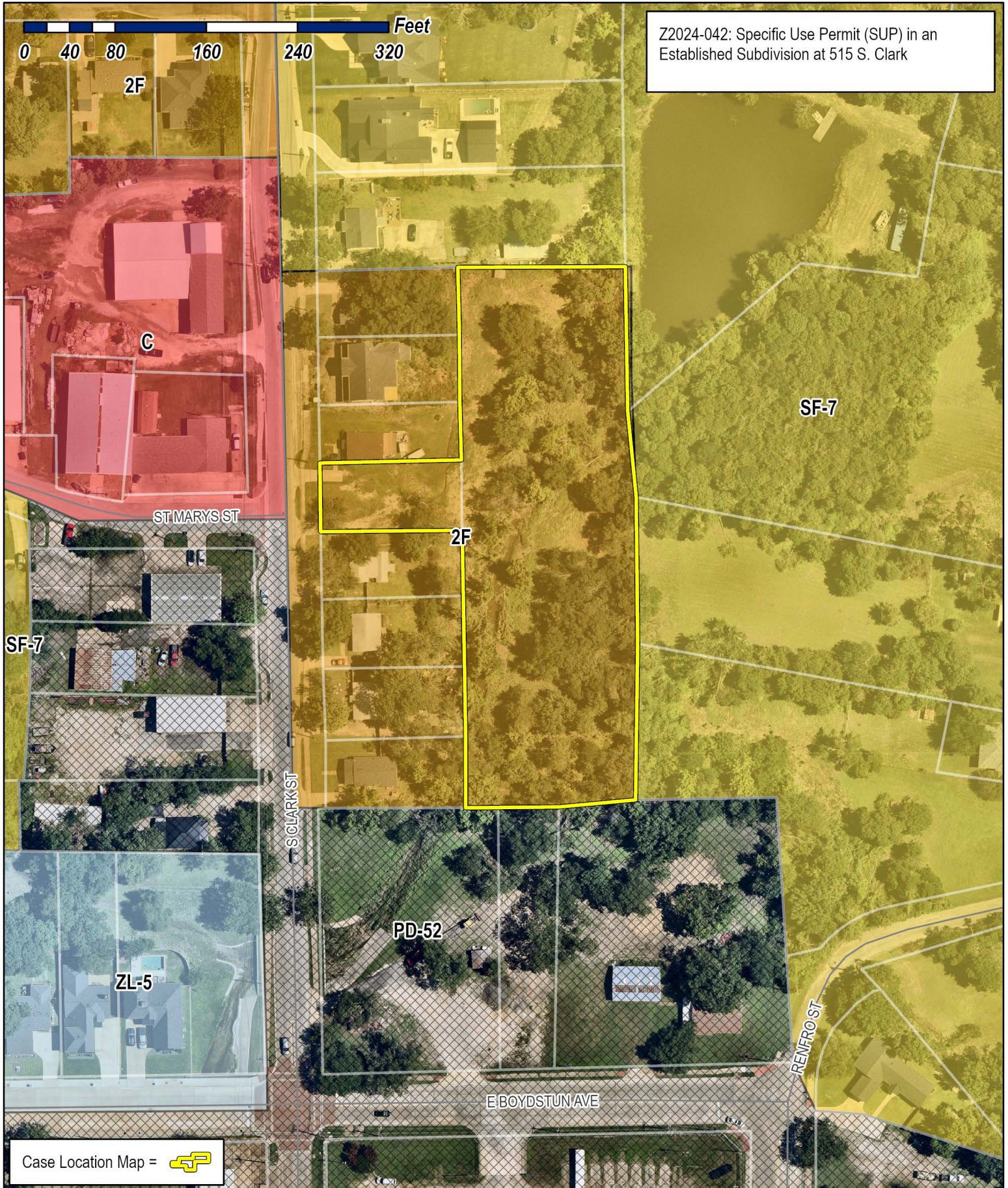
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 230.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2024.


OWNER'S SIGNATURE: Nadia Ramos

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Theresa L Moss





Z2024-042: Specific Use Permit (SUP) in an Established Subdivision at 515 S. Clark

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

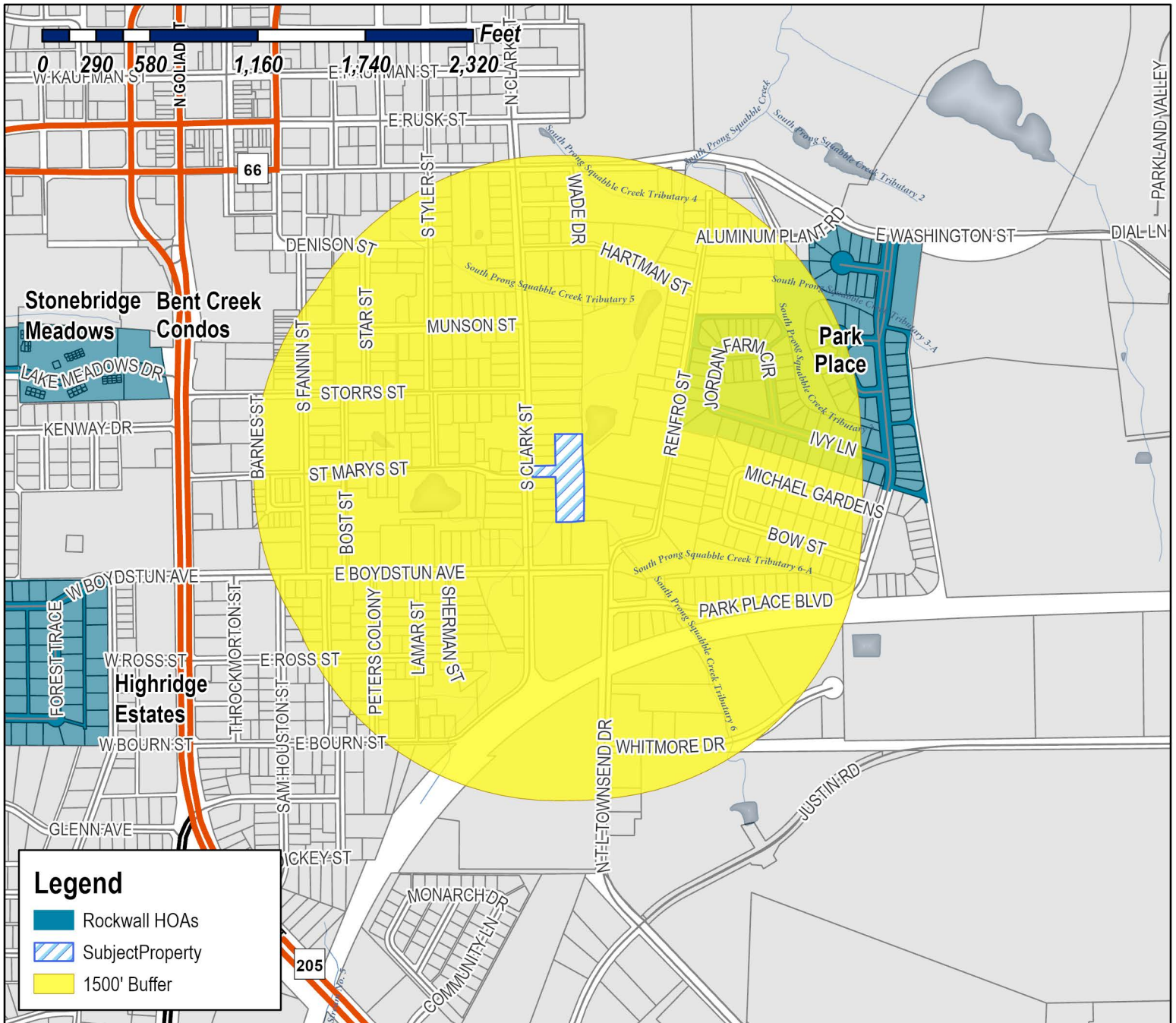




City of Rockwall

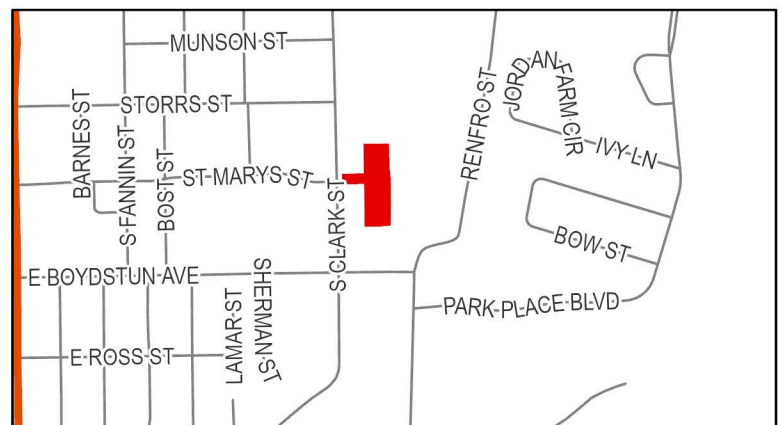
Planning & Zoning Department
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Case Number: Z2024-042
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two Family (2F) District
Case Address: 515 S. Clark Street

Date Saved: 9/12/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-042]
Date: Wednesday, September 18, 2024 10:22:05 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(9.18.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-042: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

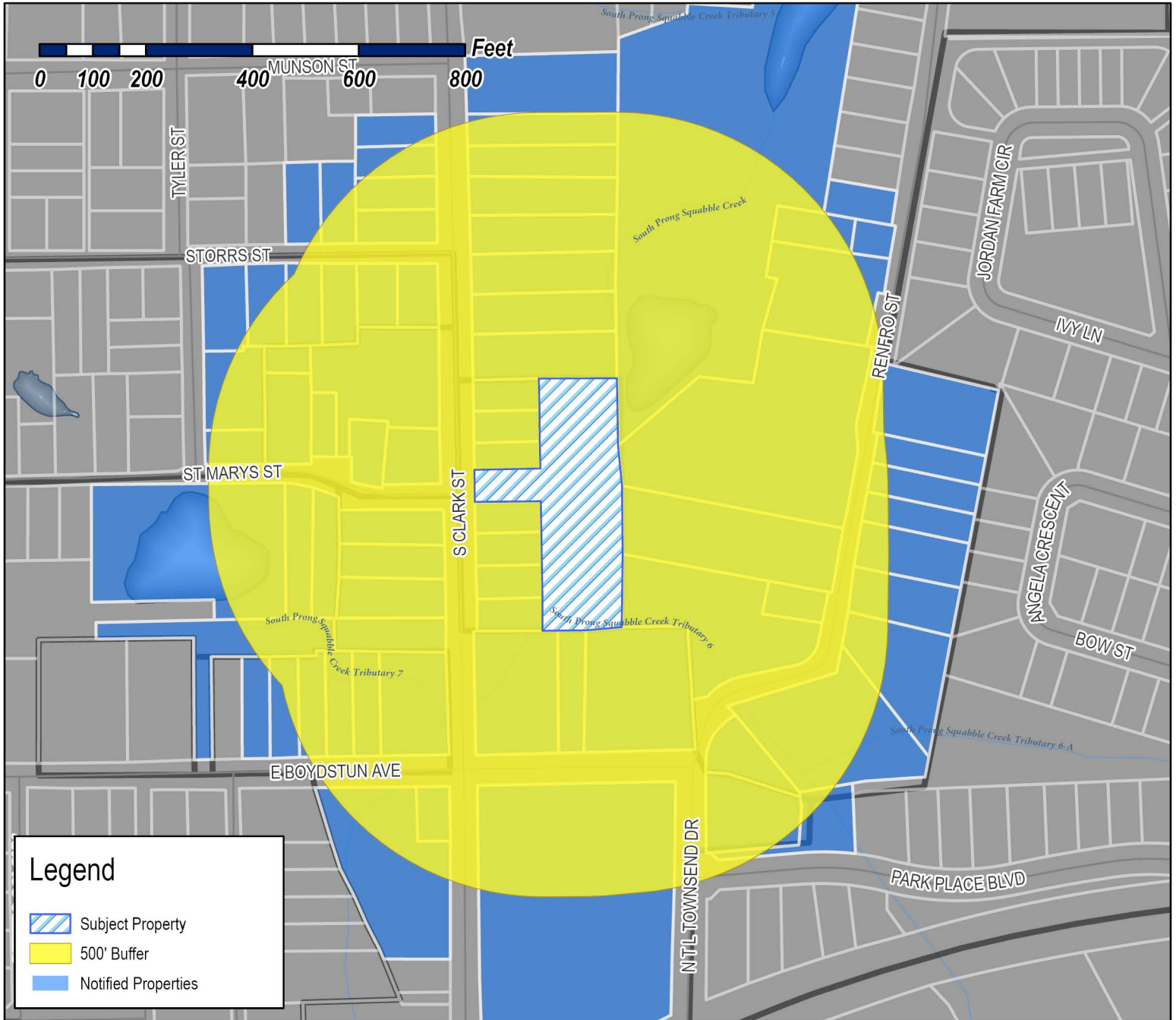
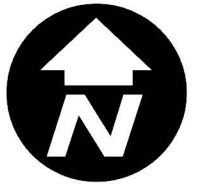
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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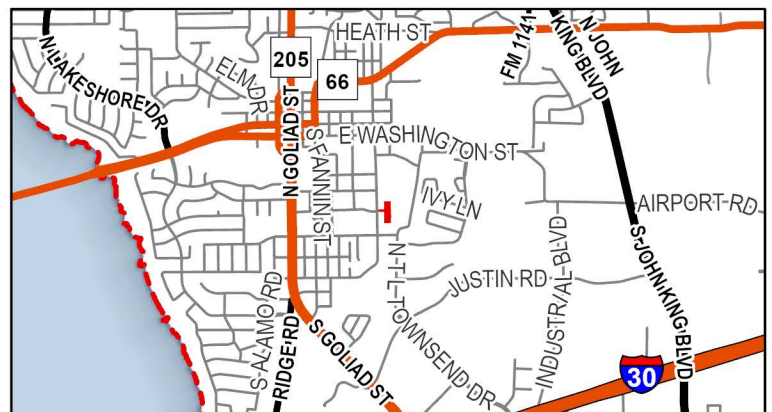
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-042
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two Family (2F) District
Case Address: 515 S. Clark Street

Date Saved: 9/12/2024

For Questions on this Case Call: (972) 771-7745



MCCALLUM V LLC
DARRELL ALAN MCCALLUM AND SHARON
FRANCES MCCALLUM AS MEMBERS
1 SOAPBERRY LN
ROCKWALL, TX 75087

WIMPEE JOE &
CODY WIMPEE
105 W KAUFMAN ST
ROCKWALL, TX 75087

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

TUTTLE LEON ETUX
1408 DHAKA DR
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HOGUE MICHAEL & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HOGUE MIKE
1498 HUBBARD DRIVE
FORNEY, TX 75126

CASTRO DEVELOPMENT LLC
16424 FALLKIRK DRIVE
DALLAS, TX 75248

HELTON TIMOTHY STEVEN AND DELENA ANN
1804 STONE HARBOR WAY
KNOXVILLE, TN 37922

LOWREY SUSAN
2070 PONTCHARTRAIN DR
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD HARRIS - TRUSTEE
210 GLENN AVE
ROCKWALL, TX 75087

BENSLEY MARCO AND DARBY KATHRYN
2255 GARDEN CREST DR
ROCKWALL, TX 75087

STARK ROBERT SCOTT
3090 N GOLIAD ST SUITE 102 #213
ROCKWALL, TX 75087

COWAN PHYLLIS
3299 ROCHELL RD
ROCKWALL, TX 75032

CLARK STREET VENTURES LLC
401 COUNTRY RIDGE RD
ROCKWALL, TX 75087

COMBS MARK HILTON AND VERONICA RUTH
401 SOUTH CLARK STREET
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
403 S CLARK STREET
ROCKWALL, TX 75087

RESIDENT
404 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN R & BROOKE D
405 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S. CLARK ST.
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
412 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
500 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE AND HALEY BROOKE BOWEN
501 S CLARK ST
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

GARTH GARY AND CYNTHIA
503 SOUTH CLARK ST
ROCKWALL, TX 75087

RESIDENT
506 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
507 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

CASTRO RENE AND BETSY
509 SOUTH CLARK STREET
ROCKWALL, TX 75087

RESIDENT
510 S CLARK
ROCKWALL, TX 75087

RESIDENT
511 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
512 S CLARK
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
515 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RESIDENT
602 S CLARK ST
ROCKWALL, TX 75087

LEE STEPHANIE
602 STORRS ST
ROCKWALL, TX 75087

RESIDENT
603 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
603 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
604 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

RESIDENT
605 RENFRO ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
606 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
606 S CLARK ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

RESIDENT
607 ST MARY
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
607 S CLARK ST
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

RESIDENT
608 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
608 STORRS ST
ROCKWALL, TX 75087

RESIDENT
609 STORRS ST
ROCKWALL, TX 75087

RESIDENT
610 S CLARK ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

WIMPEE ERIC D
610 STORRS STREET
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
612 STORRS ST
ROCKWALL, TX 75087

RESIDENT
613 ST MARYS PL
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO STREET
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

DITO JAAP & ESTHER
627 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

KENNEDY BRENDA K
701 T L TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
703 TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
703 E BOYSTUN AVE
ROCKWALL, TX 75087

RESIDENT
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

RESIDENT
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

501 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
710 AGAPE CIR
ROCKWALL, TX 75087

507-509 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK
710 AGAPE CIR
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
880 SHORES BLVD
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-042: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-042: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

RAMOS SPARROW 15



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title	Description	Comments
A-1	COVER SHEET		
A-2	SITE PLAN / ROOF PLAN		
A-3	ELEVATIONS		
A-4	FLOOR PLANS		
A-5	DOOR AND WINDOW SCHEDULES		
A-6	ELECTRICAL PLAN		

PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS
515 SOUTH CLARK STREET
ROCKWALL, TX 75087

TITLE: COVER SHEET

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

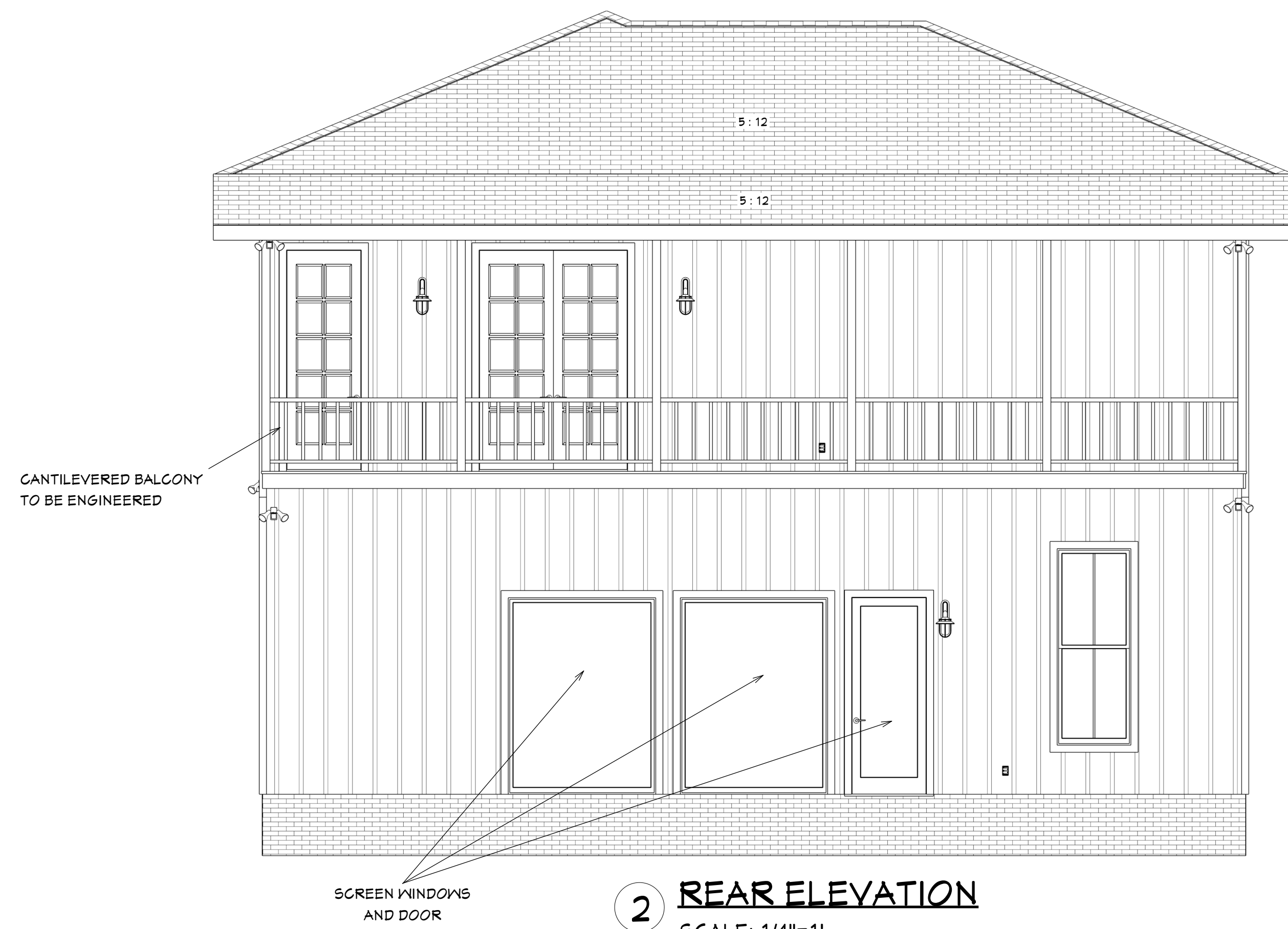
DATE:
9/21/2024

SCALE:
AS SHOWN

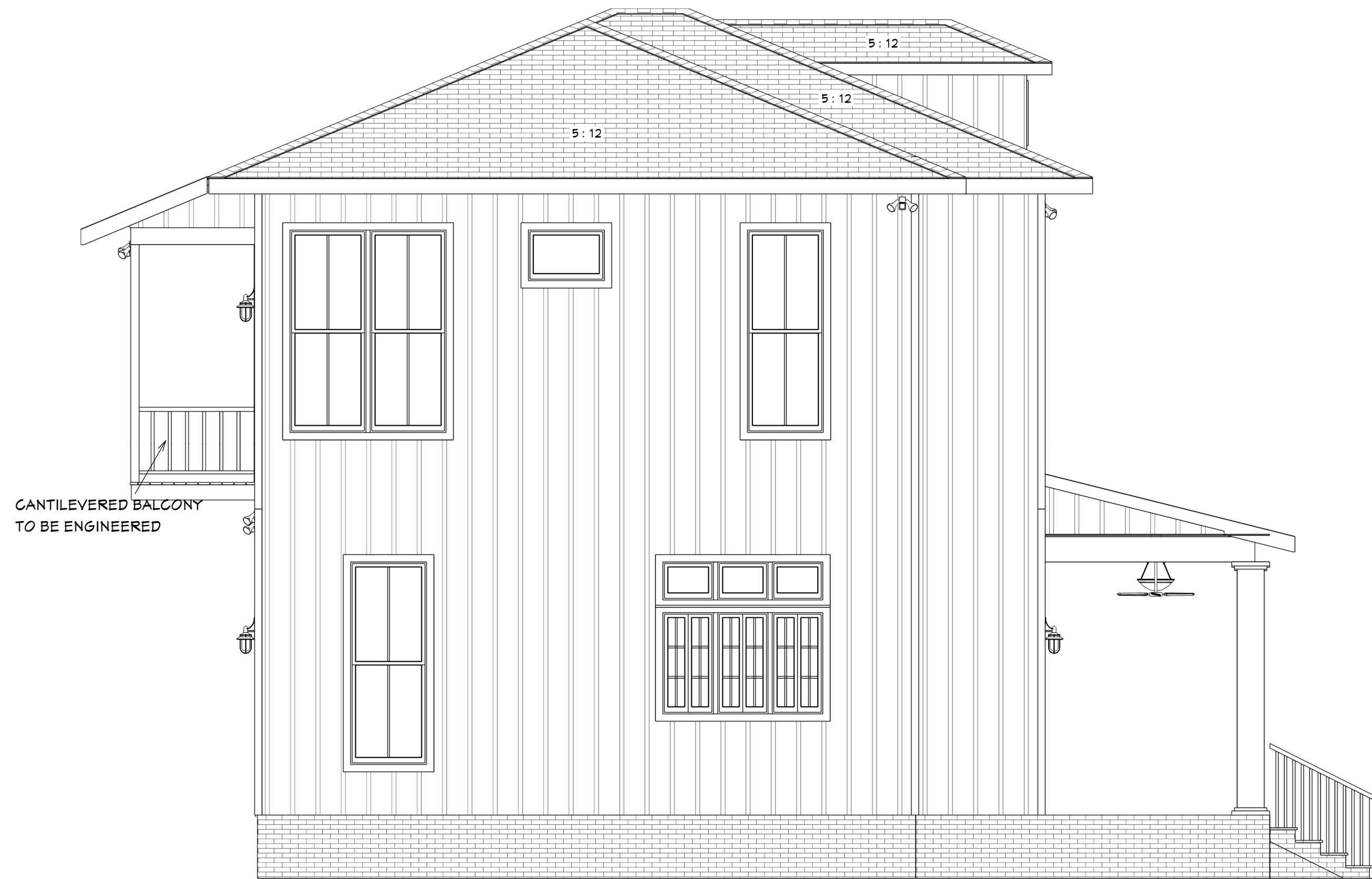
SHEET:
A-1



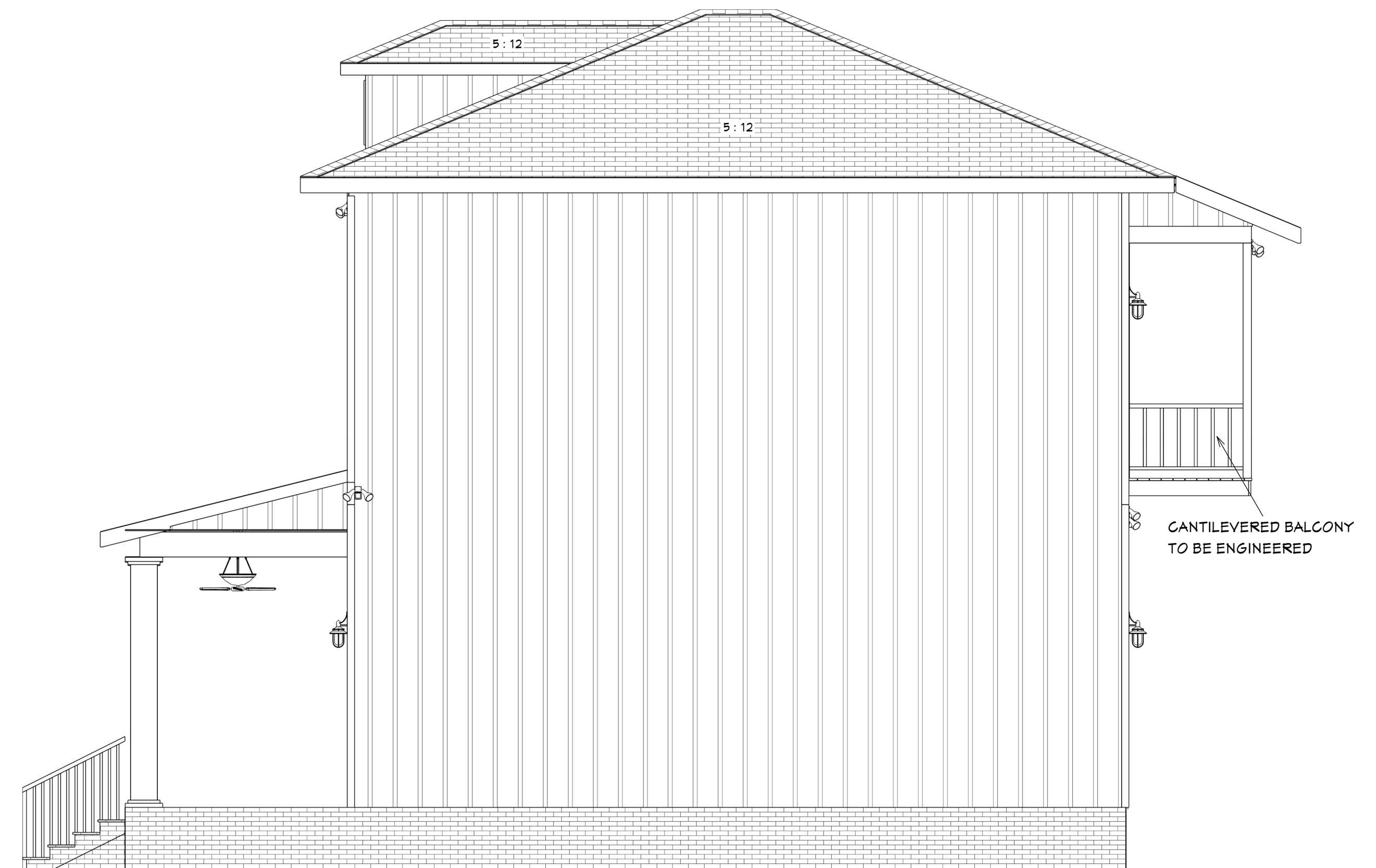
1 FRONT ELEVATION
SCALE: 1/4"=1'



2 REAR ELEVATION
SCALE: 1/4"=1'



3 LEFT ELEVATION
SCALE: 1/4"=1'



4 RIGHT ELEVATION
SCALE: 1/4"=1'

PLANS FOR:
SPARROW 15
NADIA AND ANTHONY RAMOS
515 SOUTH CLARK STREET
ROCKWALL, TX 75087

TITLE: ELEVATIONS

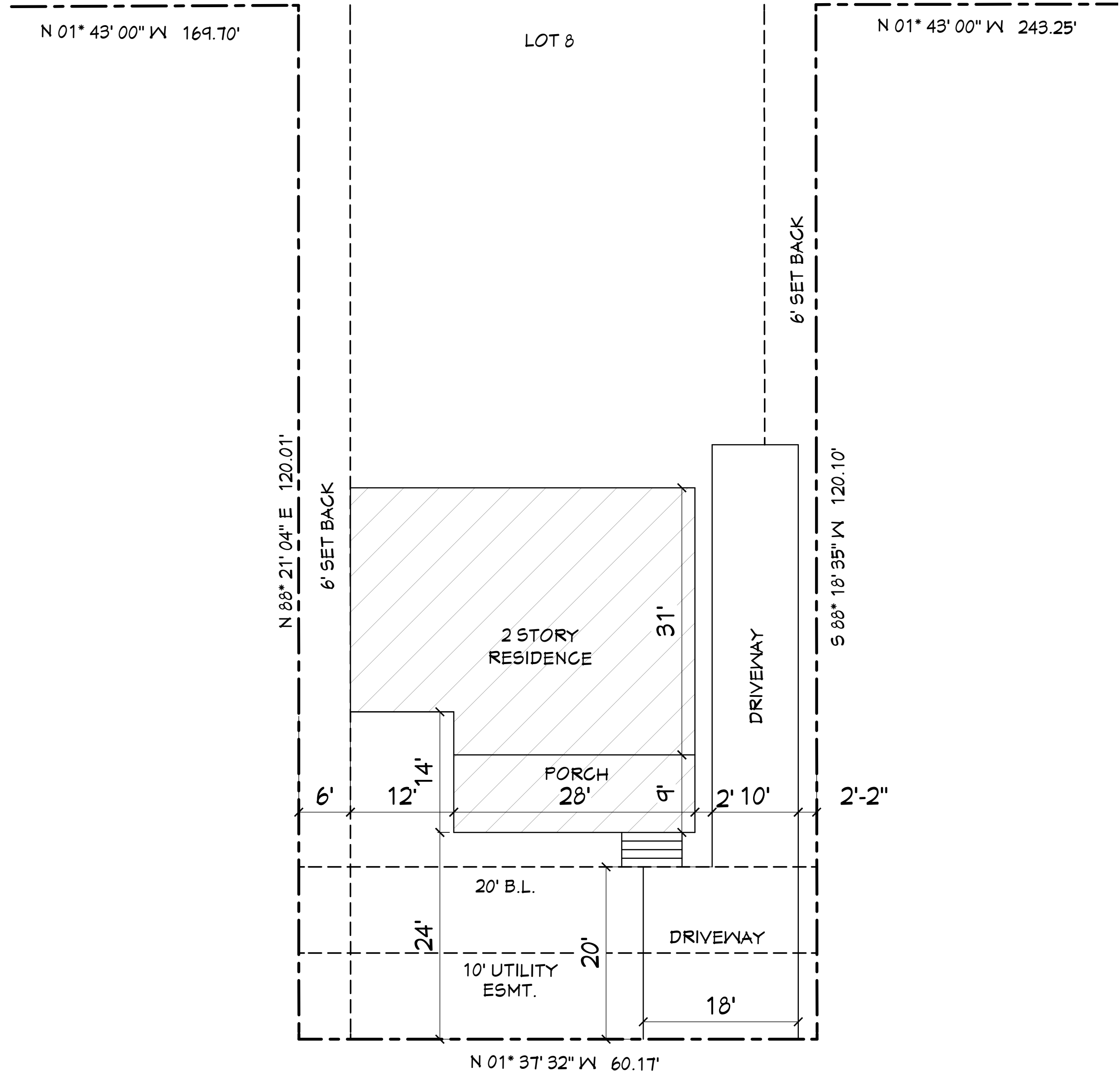
SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/27/2024

SCALE:
AS SHOWN

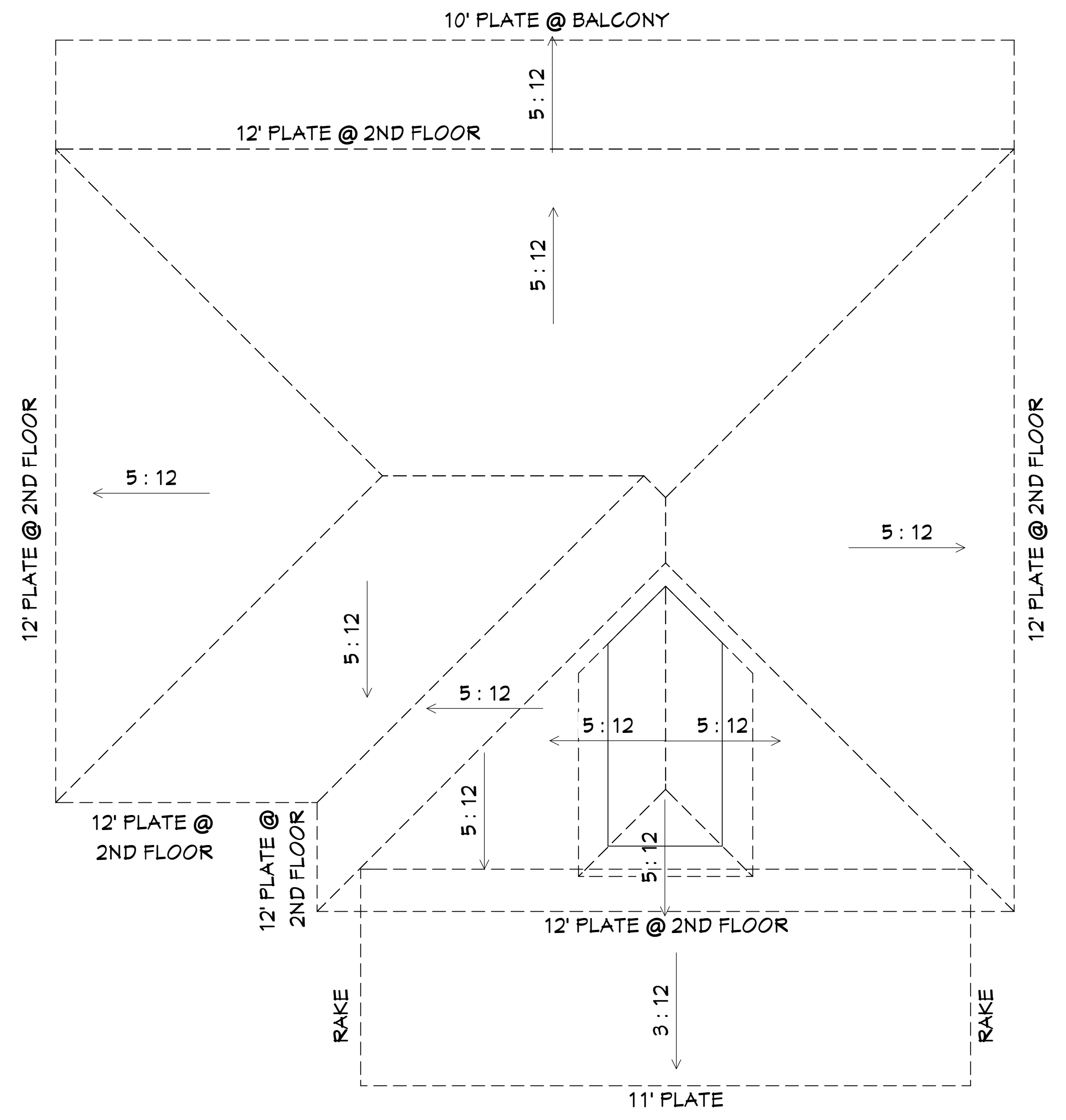
SHEET:

A-3



1 SITE PLAN
SCALE: 1"=10'

NOTE:
 1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



2 ROOF PLAN
SCALE: 1/4"=1'

NOTE:
 1. APPROXIMATELY 2160 S.F. ROOFING AREA.

PLANS FOR:
 SPARROW 15
 NADIA AND ANTHONY RAMOS
 515 SOUTH CLARK STREET
 ROCKWALL, TX 75087

TITLE:
 SITE PLAN / ROOF PLAN

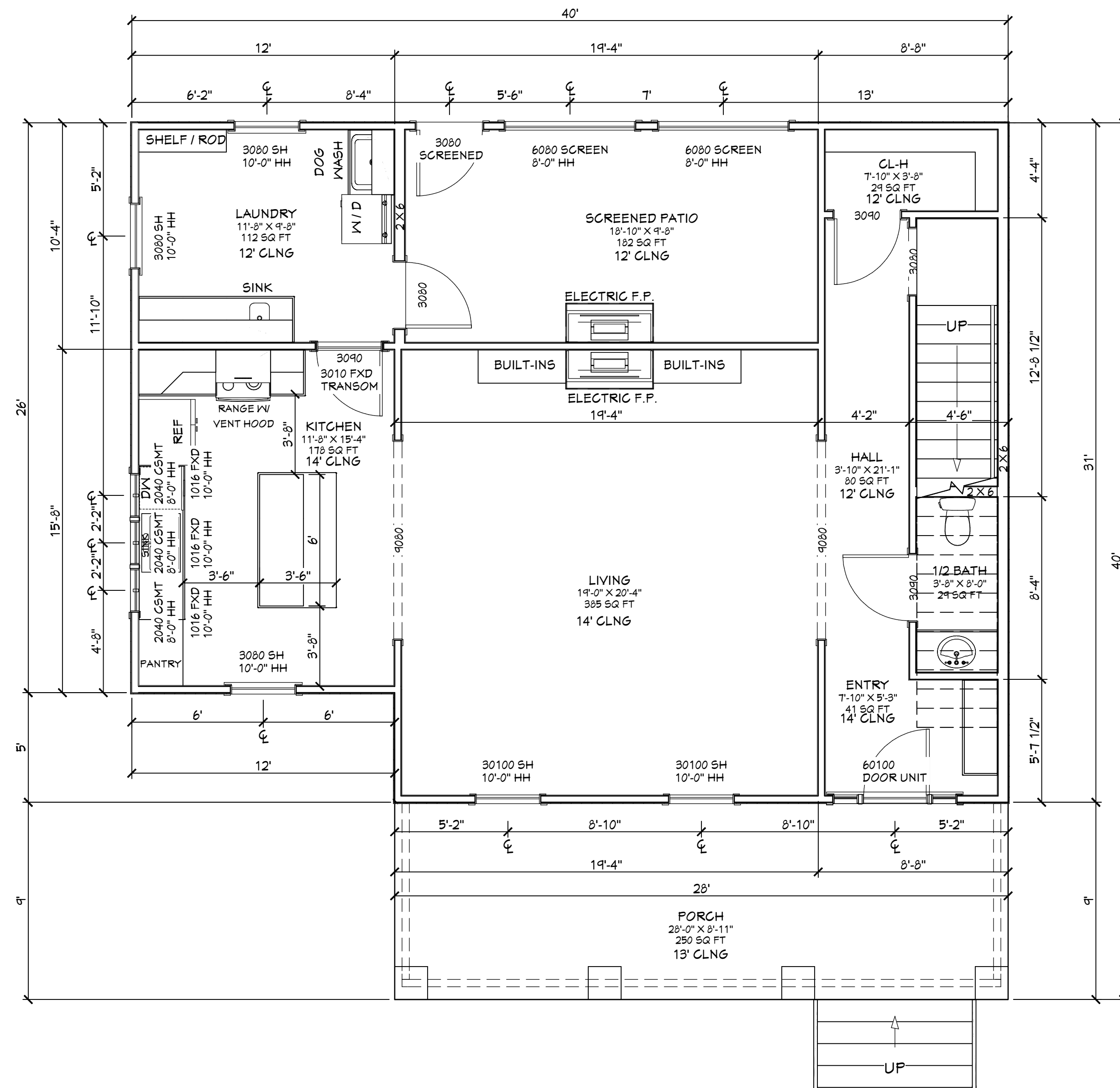
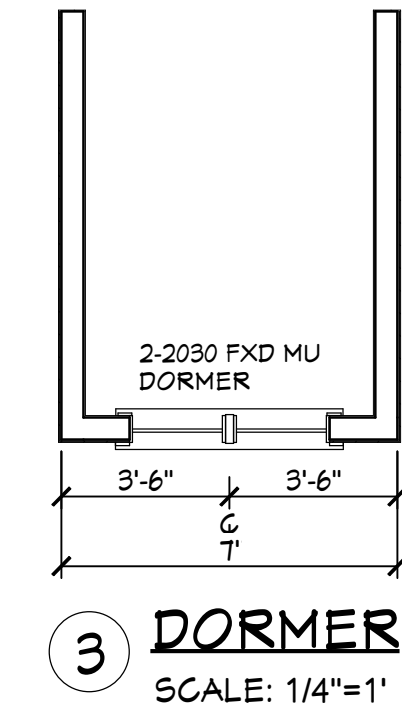
SHANNON NENSON
 MARK NENSON
CADAZIGN
 ROYSE CITY, TEXAS 75189
 469-338-9863
 DRAWN BY:

DATE:
 9/21/2024

SCALE:
 AS SHOWN

SHEET:

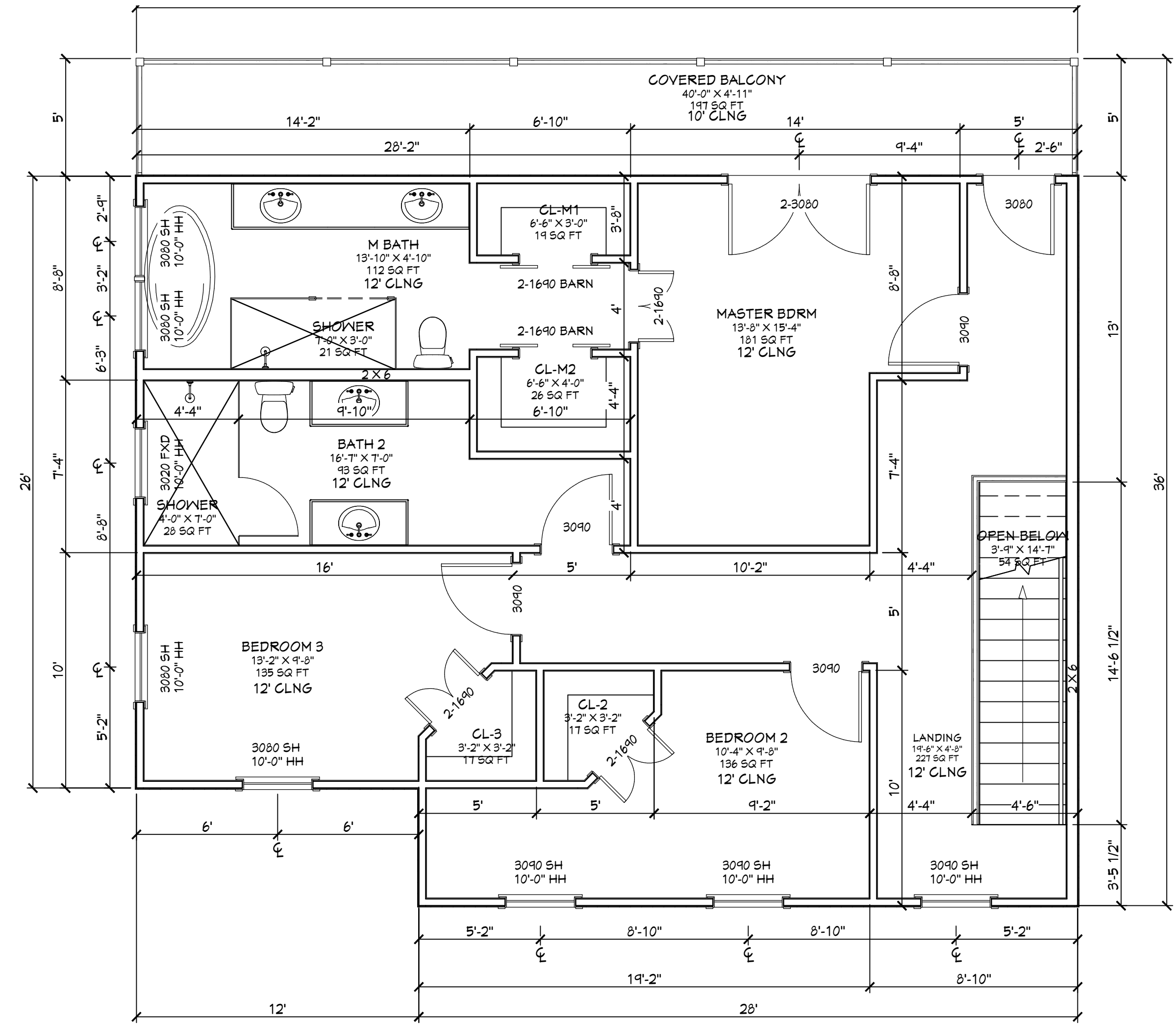
A-2



1 FLOOR PLAN - 1ST
SCALE: 1/4"=1"

AREAS	
FIRST FLOOR LIVING	988 SQ. FT.
SECOND FLOOR LIVING	1133 SQ. FT.
TOTAL LIVING AREA	2121 SQ. FT.
COVERED PORCH	252 SQ. FT.
COVERED BALCONY	200 SQ. FT.
TOTAL SQ FT	2573 SQ. FT.

LIVING AREA
988 SQ FT

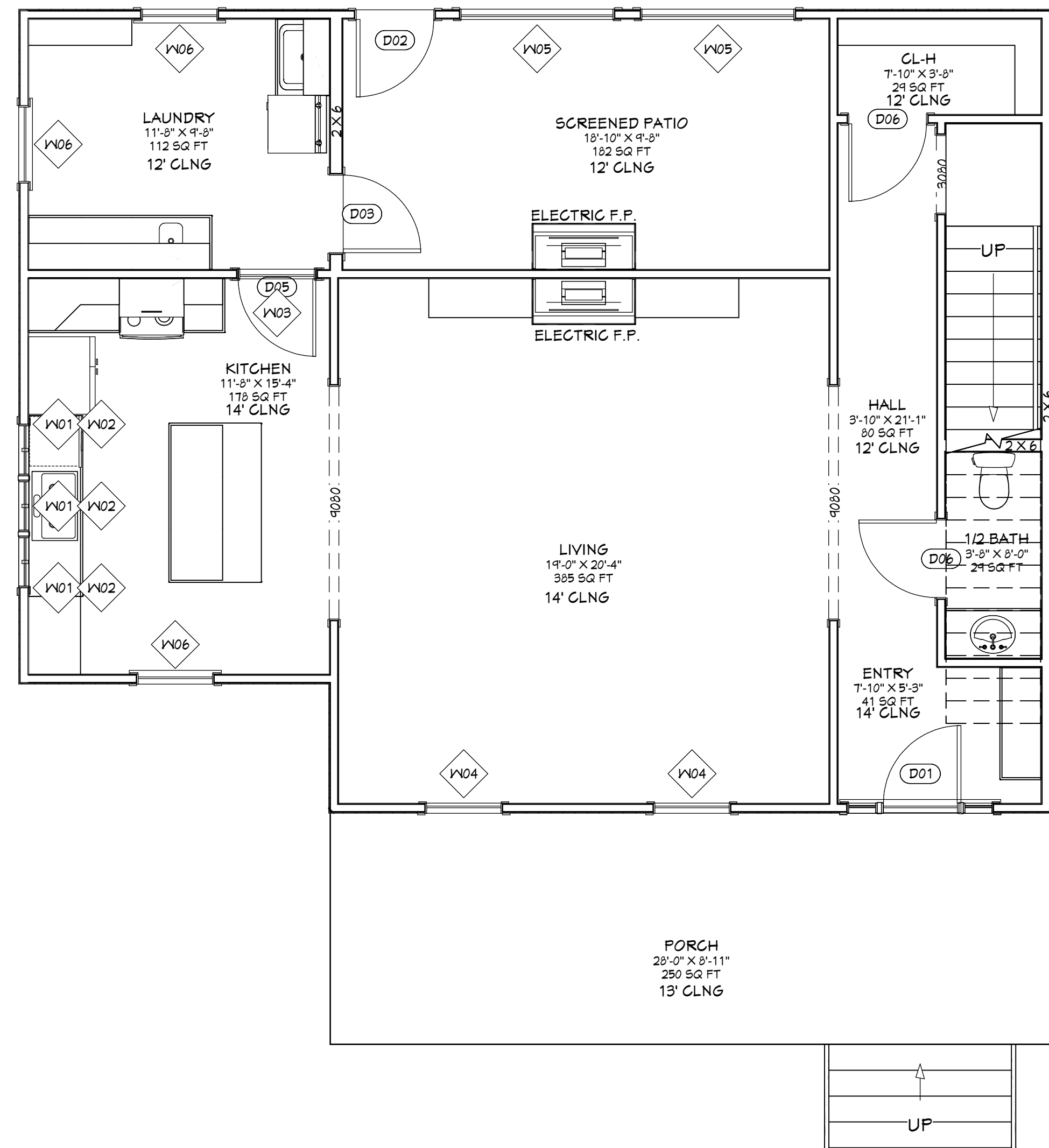


2 FLOOR PLAN - 2ND
SCALE: 1/4"=1"

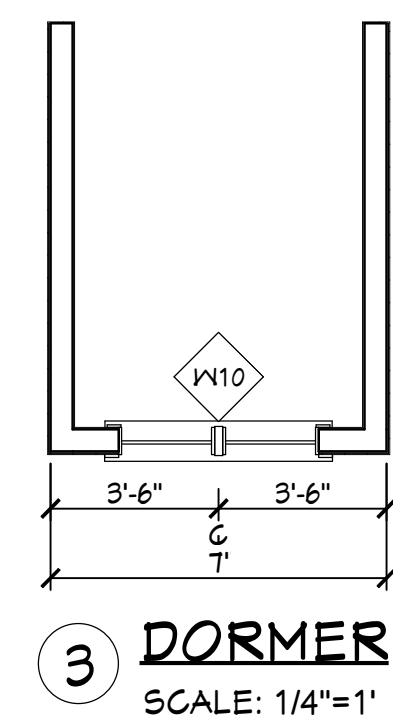
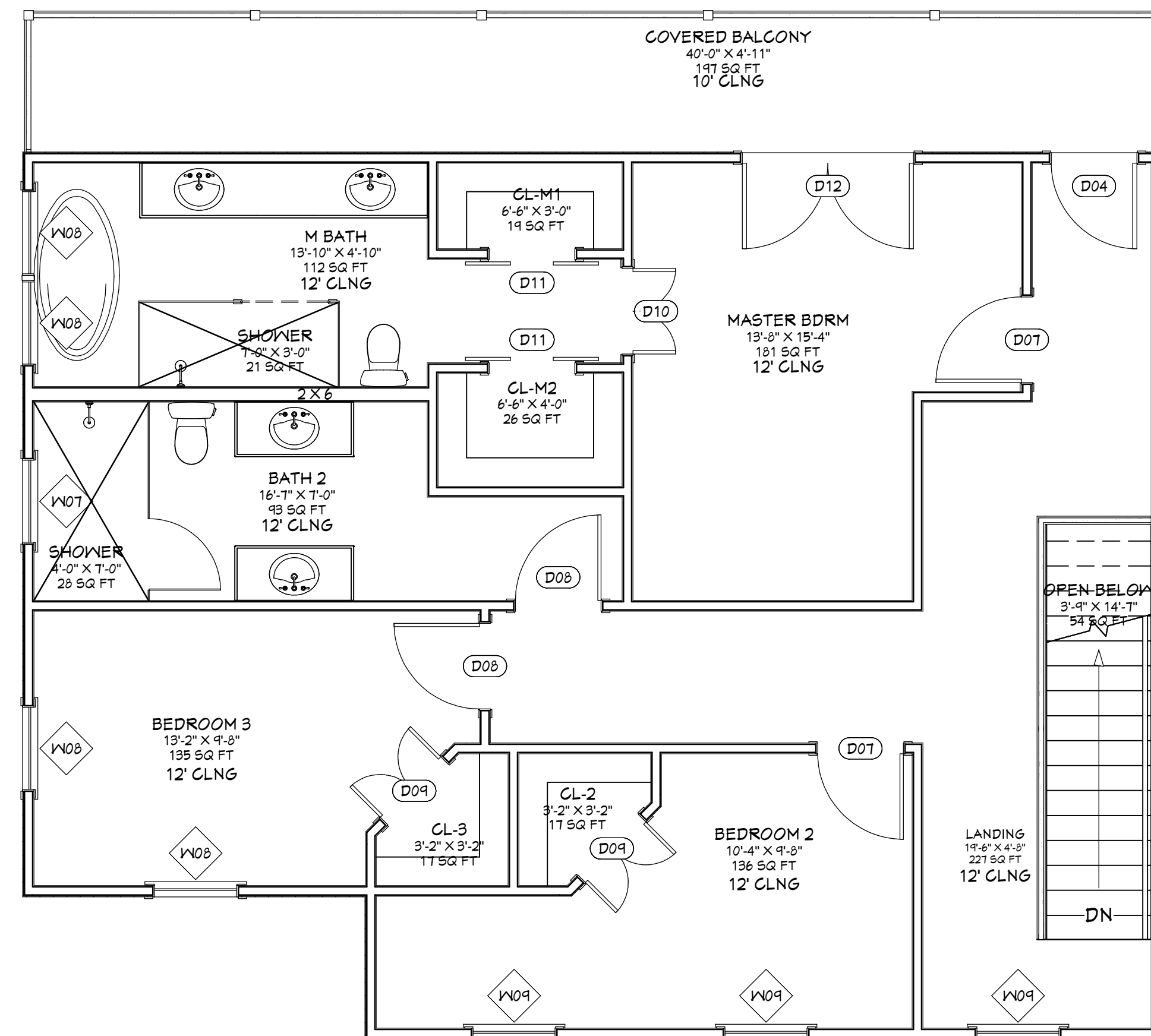
LIVING AREA
1114 SQ FT

DOOR SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION
D01	60100 DOOR UNIT	1	1	5880	68"	96"	69"X97"	MULLED UNIT
D02	3080 SCREENED	1	1	3080 R EX	36"	96"	38"X99"	EXT. HINGED-DOOR F01
D03	3080	1	1	3080 R EX	36"	96"	38"X99"	EXT. HINGED-DOOR E02
D04	3080	1	2	3080 L EX	36"	96"	38"X99"	EXT. HINGED-DOOR F01
D05	3090	1	1	3090 L IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D06	3090	2	1	3090 R IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D07	3090	2	2	3090 L IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D08	3090	2	2	3090 R IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D09	2-1690	2	2	3080 L/R IN	36"	96"	38"X98 1/2"	DOUBLE HINGED-DOOR F10
D10	2-1690	1	2	3090 L/R IN	36"	108"	38"X110 1/2"	DOUBLE HINGED-DOOR F10
D11	2-1690 BARN	2	2	3090 L/R	36"	108"	38"X110 1/2"	DOUBLE BARN-DOOR F10
D12	2-3080	1	2	6080 L/R EX	72"	96"	74"X99"	EXT. DOUBLE HINGED-DOOR F01

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER
W01	2040 C5MT 8'-0" HH	3	1	2040DC	24"	48"	25"X49"	DOUBLE CASEMENT-LHL/RHR	2X6X28" (2)
W02	1016 FXD 10'-0" HH	3	1	2016FX	24"	18"	25"X19"	FIXED GLASS	2X6X28" (2)
W03	3010 FXD TRANSOM	1	1	30010FX	36"	10"	37"X11"	FIXED GLASS	2X6X40" (2)
W04	30100 SH 10'-0" HH	2	1	30100SH	36"	120"	37"X121"	SINGLE HUNG	2X6X40" (2)
W05	6080 SCREEN 8'-0" HH	2	1	6080FX	72"	96"	73"X97"	FIXED GLASS	2X6X76" (2)
W06	3080 SH 10'-0" HH	3	1	3080SH	36"	96"	37"X97"	SINGLE HUNG	2X6X40" (2)
W07	3020 FXD 10'-0" HH	1	2	3020FX	36"	24"	37"X25"	FIXED GLASS	2X6X40" (2)
W08	3080 SH 10'-0" HH	4	2	3080SH	36"	96"	37"X97"	SINGLE HUNG	2X6X40" (2)
W09	3090 SH 10'-0" HH	3	2	3090SH	36"	108"	37"X109"	SINGLE HUNG	2X6X40" (2)
W10	2-2030 FXD MU DORMER	1	3	4230	50"	36"	51"X37"	MULLED UNIT	2X6X54" (2)



1 DOOR & WINDOW SCHEDULES
SCALE: 1/4"=1'



PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: DOOR AND WINDOW SCHEDULES

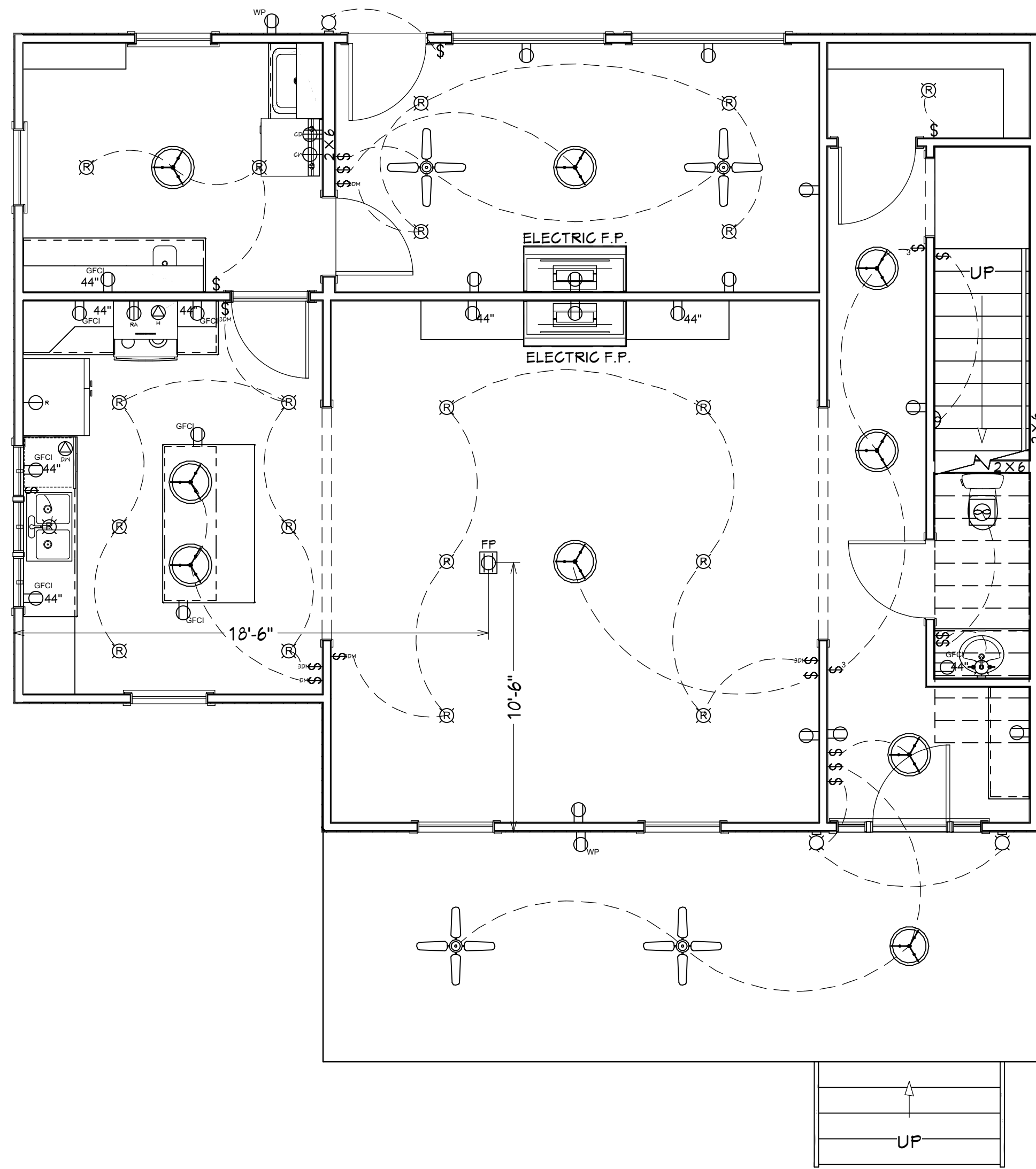
SHANNON NEBSOM MARK NEBSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

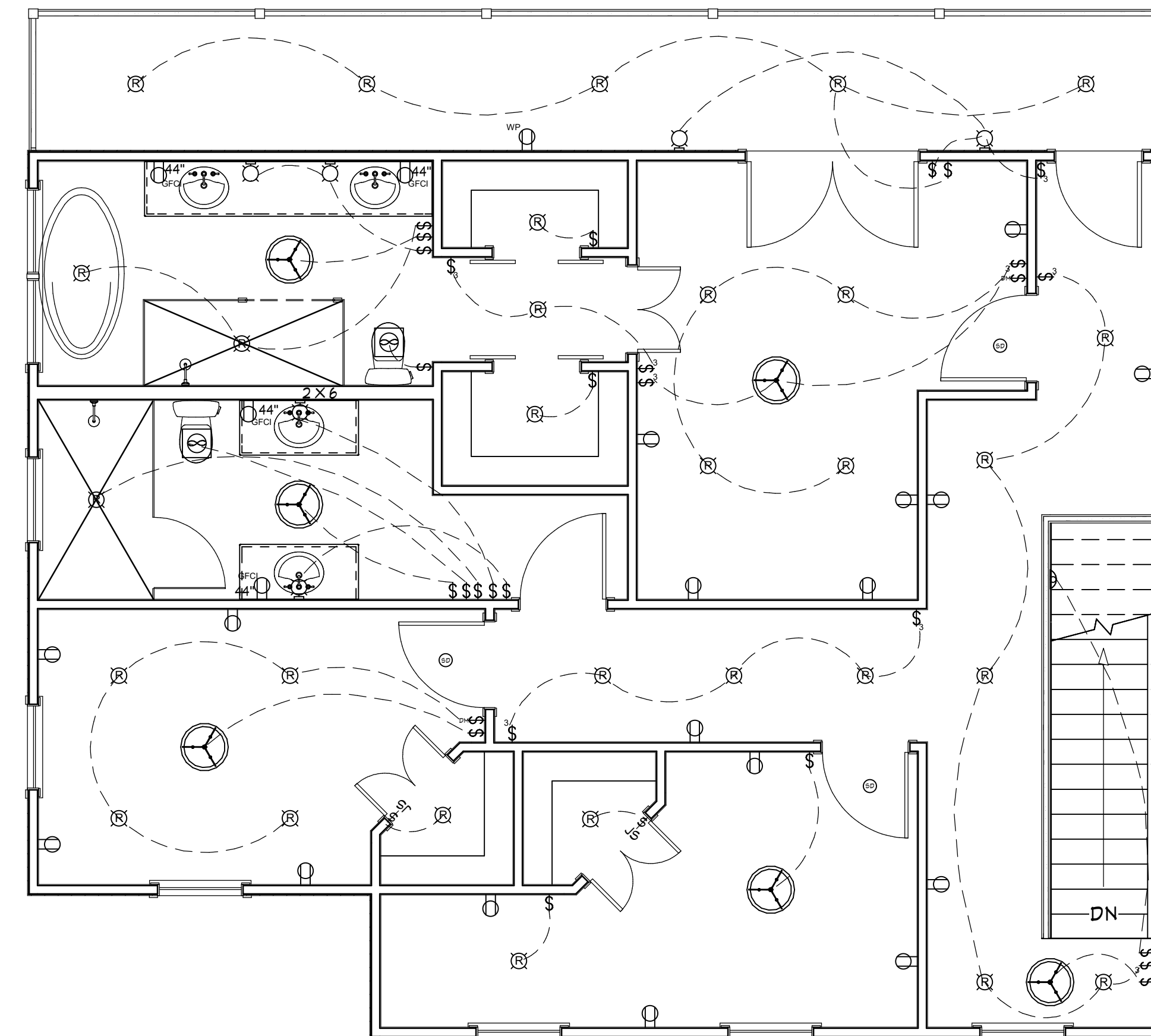
A-5



1 **ELECTRICAL PLAN - 1ST FLOOR**
SCALE: 1/4"=1'

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	MOTION SENSOR SPOTLIGHT

- NOTES:
1. WIRE SOFFIT OUTLETS TO SWITCH IN ENTRY.
 2. WIRE FOR CABINET LIGHTING PER OWNER SPECS.
 3. VERIFY FLOOR PLUG LOCATIONS WITH OWNER.
 4. VERIFY LOCATION AND TYPE OF WATER HEATER WITH OWNER.



2 **ELECTRICAL PLAN - 2ND FLOOR**
SCALE: 1/4"=1'

PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: **ELECTRICAL PLAN**

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

A-6



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-042

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
509 S. Clark Street	Single-Family Home	1945	884	240	Siding
510 S. Clark Street	Commercial	1970	6,668	N/A	Metal
511 S. Clark Street	Duplex	2023	2400, 1649	N/A	Siding
512 S. Clark Street	Commercial	1960	3,329	N/A	Siding
513 S. Clark Street	Single-Family Home	1966	844	N/A	N/A
515 S. Clark Street	Vacant	N/A	N/A	N/A	N/A
601 S. Clark Street	Single-Family Home	1945	789	N/A	Siding
602 S. Clark Street	Commercial	2000	10,400	N/A	Brick
603 S. Clark Street	Single-Family Home	1945	768	N/A	Siding
604 S. Clark Street	Commercial	1953	400	1050	Metal
605 S. Clark Street	Single-Family Home	1945	768	N/A	Siding
606 S. Clark Street	Commercial	1980	1,500	N/A	Brick and Siding
AVERAGES:		1967	2,635	645	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-042

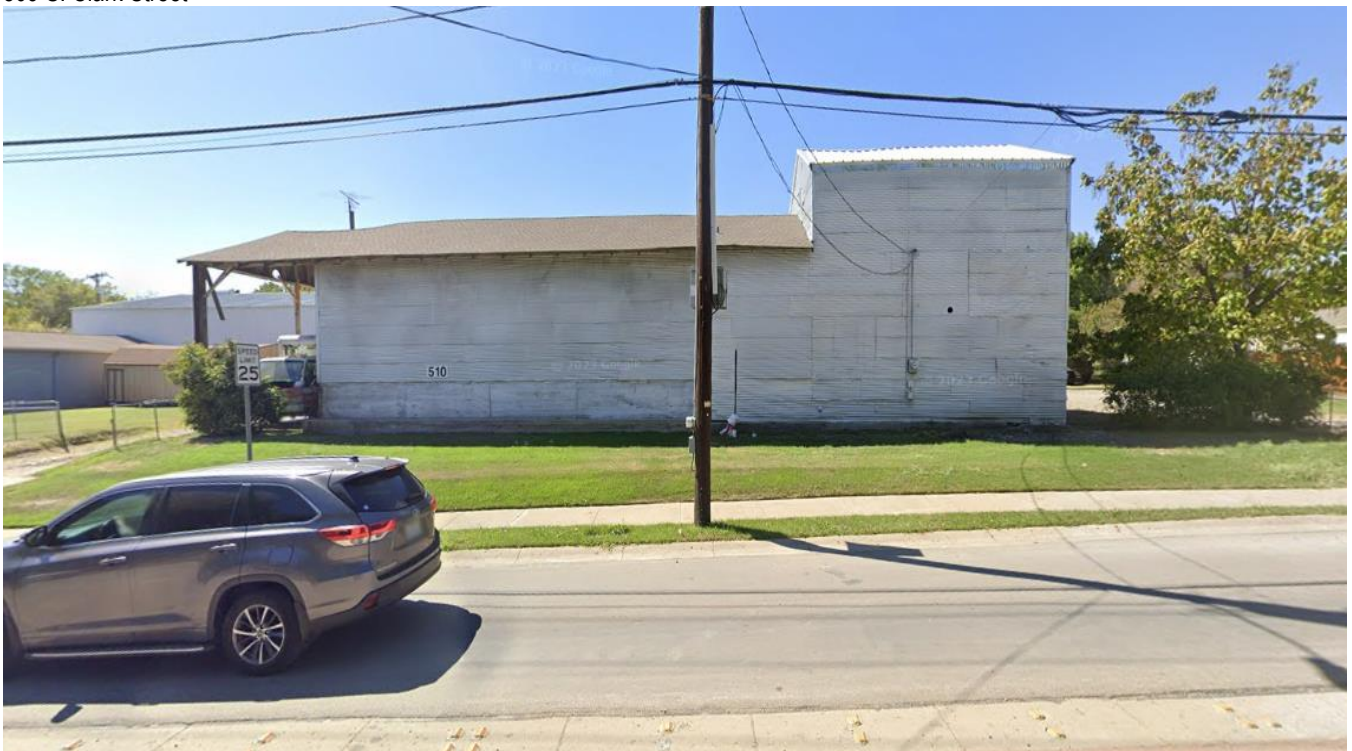
PLANNING AND ZONING DEPARTMENT

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509 S. Clark Street



510 S. Clark Street



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511 S. Clark Street



512 S. Clark Street



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513 S. Clark Street



515 S. Clark Street



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601 S. Clark Street



602 S. Clark Street



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603 S. Clark Street



604 S. Clark Street



CITY OF ROCKWALL

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605 S. Clark Street



606 S. Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 1.80-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8 OF THE HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Nadia Ramos for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) All structures and paving must be constructed outside of the erosion hazard setback.
- 4) The 10-foot wide single car driveway along the side of the house must be changed to be at least 12-foot wide.
- 5) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF NOVEMBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 21, 2024

2nd Reading: November 4, 2024

**Exhibit 'A':
Location Map**

Address: 515 S. Clark Street

Legal Description: Lot 8 of the Harris Addition

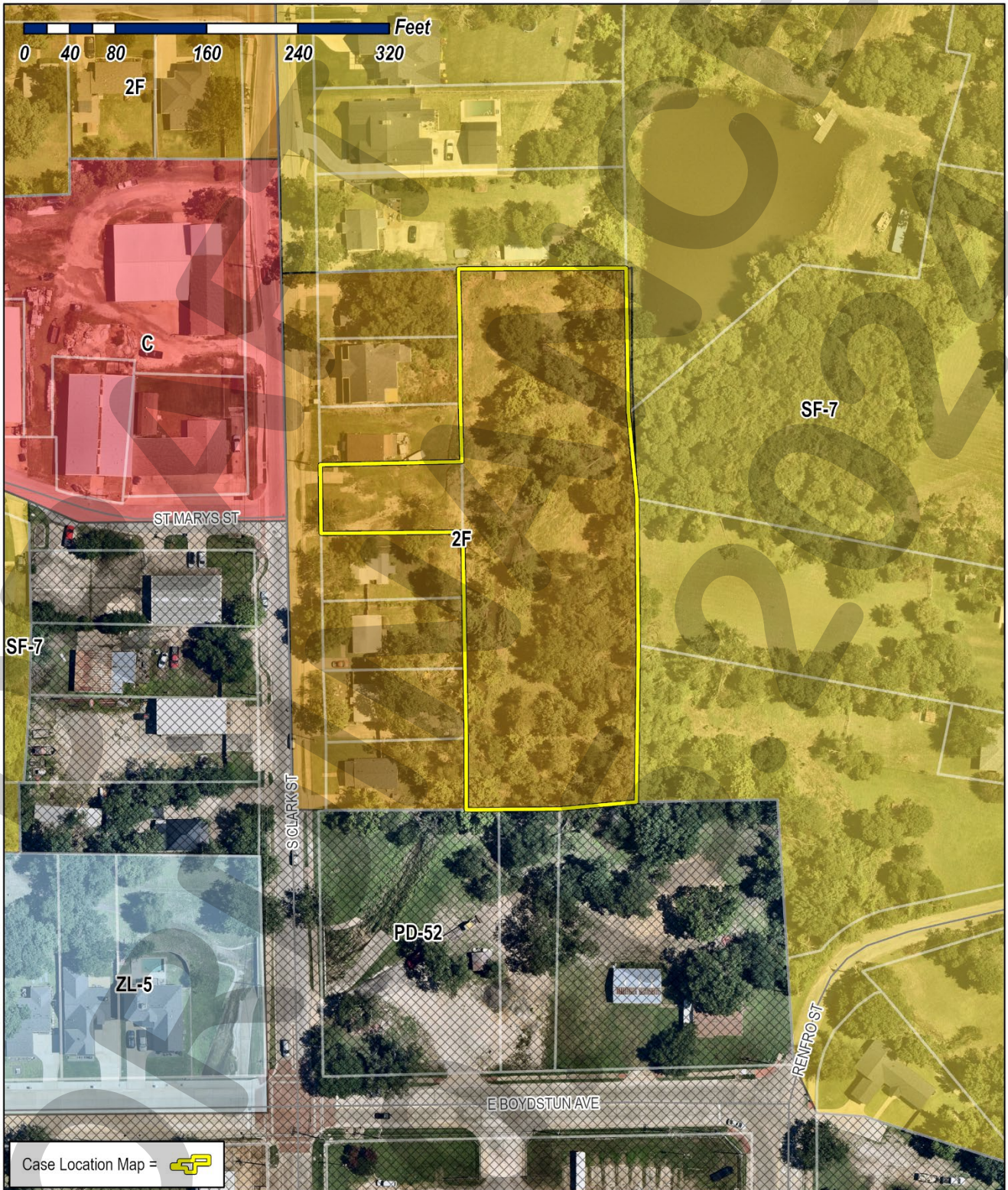
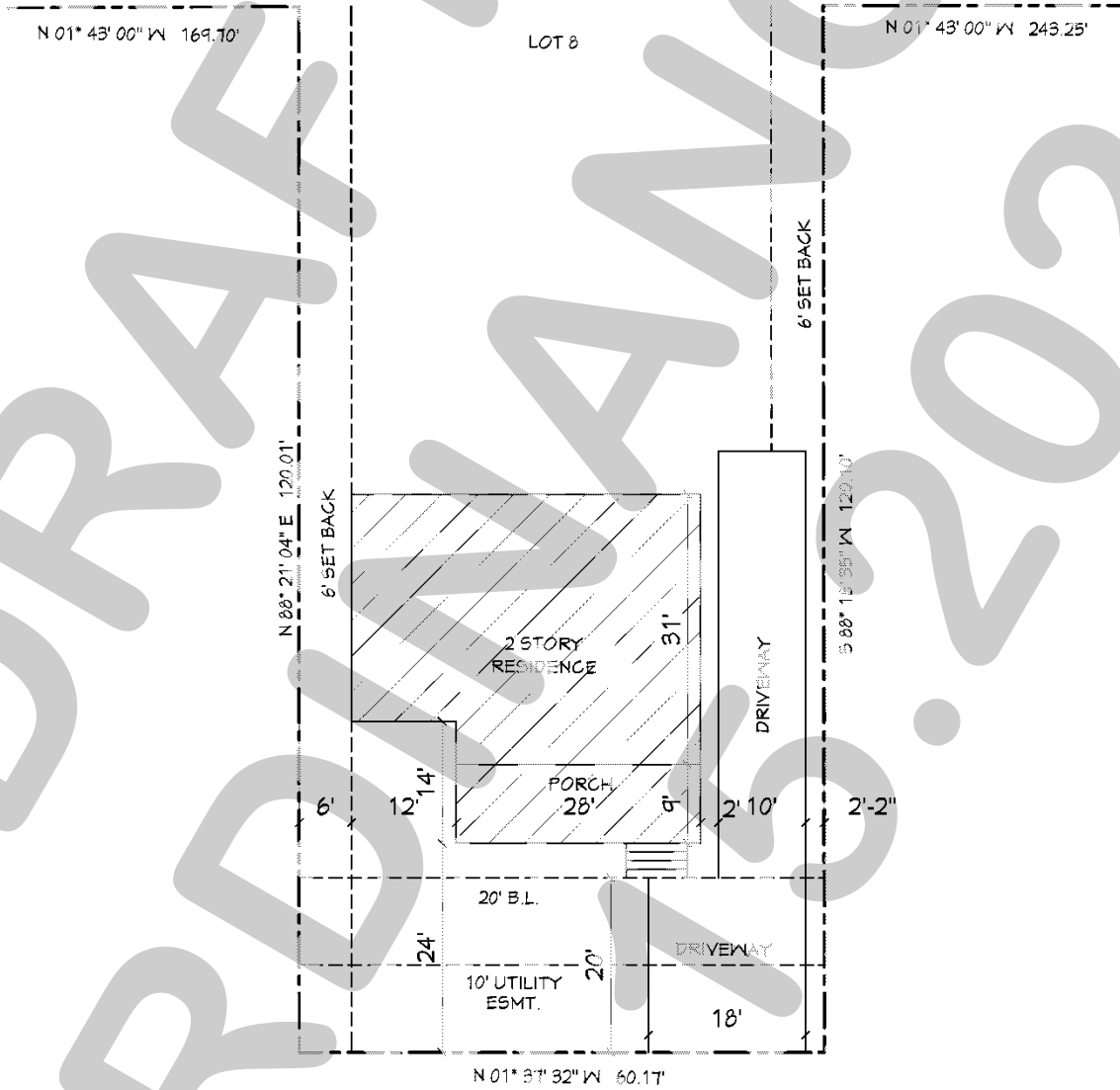


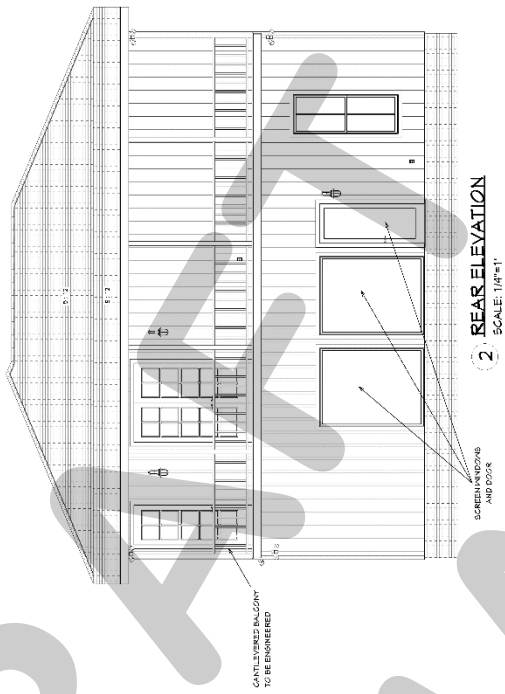
Exhibit 'B':
Residential Plot Plan



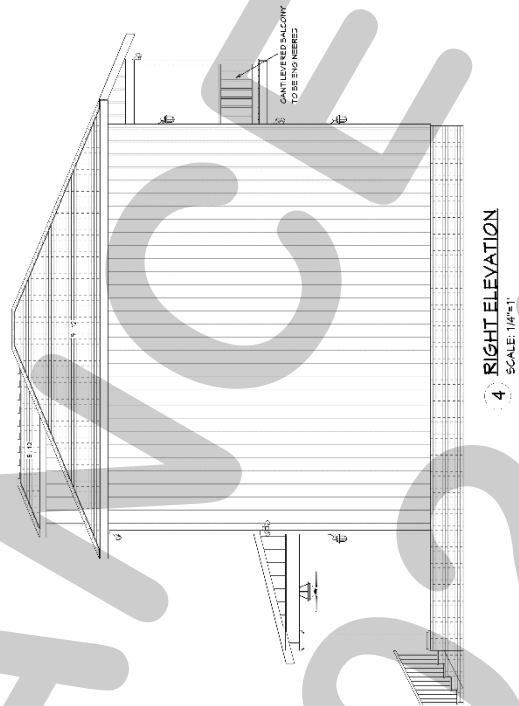
SOUTH CLARK STREET



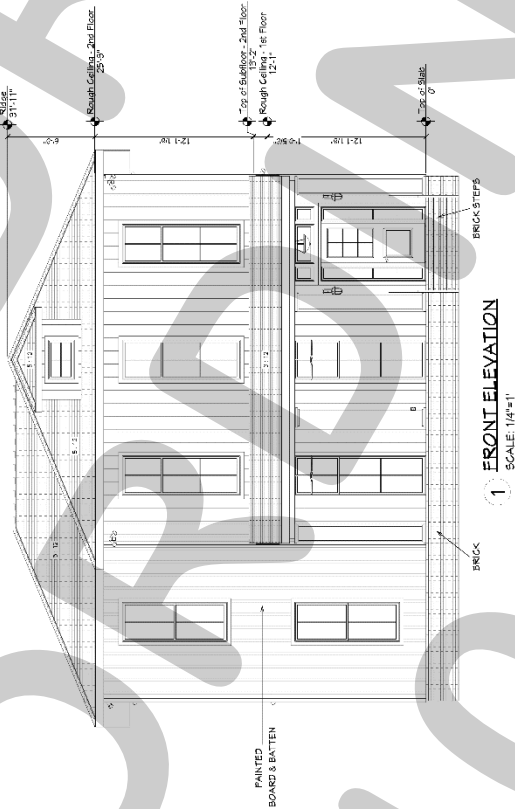
Exhibit 'C':
Building Elevations



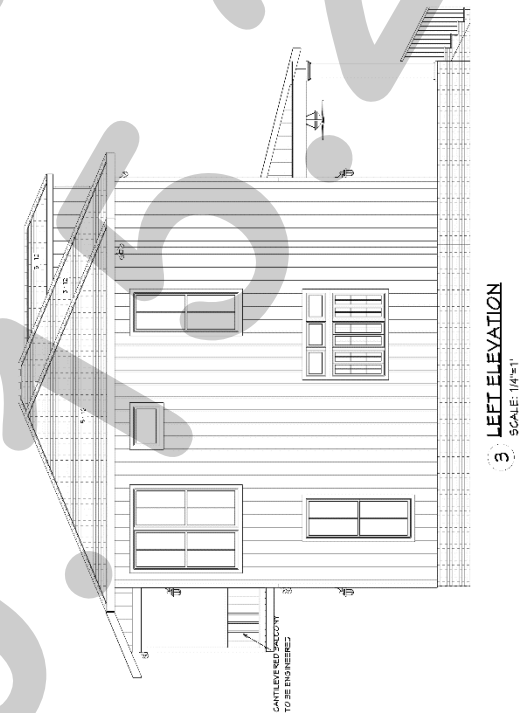
2 REAR ELEVATION
SCALE: 1/4"=1'



4 RIGHT ELEVATION
SCALE: 1/4"=1'



1 FRONT ELEVATION
SCALE: 1/4"=1'



3 LEFT ELEVATION
SCALE: 1/4"=1'



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 15, 2024

APPLICANT: Russ and Kim Dignam

CASE NUMBER: Z2024-043; *Specific Use Permit (SUP) to Allow an Accessory Structure Larger than the Permitted Square Footage and More than the Permitted Number of Accessory Structures*

SUMMARY

Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow an accessory structure larger than the permitted square footage and more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on March 16, 1998 by *Ordinance No. 73-43 [Case No. A1973-005]*. At the time of annexation, the property was zoned Agricultural (AG) District. On July 6, 2015, the City Council approved a zoning change [*Case No. Z2015-014*] from Agricultural (AG) District to Planned Development District 77 (PD-77) [*Ordinance No. 15-20*]. On July 17, 2017 the City Council approved a preliminary plat [*Case No. P2017-032*] and a site plan [*Case No. SP2017-020*] for Gideon Grove North. On July 16, 2018, the City Council approved a final plat [*Case No. P2018-021*] for the subject property for the purpose of constructing a single-phase residential subdivision (*i.e. Gideon Grove North*). On March 2, 2020, the City Council approved an amending plat [*Case No. P2020-008*] for Gideon Grove North Subdivision for the purpose of correcting a scrivener error. According to the Rockwall Central Appraisal District (RCAD), there is a 3,355 SF single-family home situated on the subject property. The subject property also has two (2) unpermitted accessory structures on the subject property which consist of a 200 SF accessory building and a 198 SF covered patio.

PURPOSE

The applicant – *Russ and Kim Dignam* -- are requesting the approval of a Specific Use Permit (SUP) to allow the construction of an accessory structure that exceeds the maximum allowable size and the maximum number of accessory structures as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1202 Gideon Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the corporate limits of the City of Rockwall. Following this are several unincorporated lots developed with single-family homes.

South: Directly south of the subject property are six (6) parcels of land (*i.e. 2113, 2109, 2105, 2015, 2011, & 2007 Grove Way*) that make up the remainder of the Gideon Grove North Addition. All of these properties are developed with single-family homes and zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are 11 parcels of land (i.e. 1206, 1210, 1214, 1304, 1308, 1312, 1316, 1320, 1324, 1328 Gideon Way, 2116 Bailey Drive) that make up the remainder of the Gideon Grove North Addition. All of these properties are developed with single-family homes and zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses. Beyond this is a 3.87-acre tract of land (i.e. Tract 14-5, Abstract No. 88, of the J.M. Glass Survey) that is zoned Agricultural (AG) District and developed with a single-family home. Following this is a 4.085-acre tract of land (i.e. Tract 14-2, Abstract No. 88, of the J.M. Glass Survey) that is zoned Agricultural (AG) District and developed with a single-family home. East of this is a 2.247-acre tract of land (i.e. Tract 14-4, Abstract No. 88, of the J.M. Glass Survey) that is zoned Agricultural (AG) District and developed with a single-family home. Beyond this is a 76.5770-acre tract of land (i.e. Lots 1 & 2, Block A, Rockwall ISD Addition) that is zoned Planned Development District 94 (PD-94) for limited Neighborhood Services (NS) District land uses, and developed with a 150,170 SF Secondary Public School.

West: Directly west of the subject property is Phase 1 of the Saddle Star Estates Subdivision which is zoned Planned Development District 79 (PD-79), was established in 2019, consists of 26.41 acres, and 66 residential lots. Beyond this is John King Boulevard which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow an accessory building that exceeds the maximum allowable size and to construct an accessory structure that exceeds the maximum number of accessory structures as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). The applicant's photos indicate that the existing accessory building has a building footprint of 200 SF (10' X 20') and the existing patio cover has a building footprint of 198 SF (11' X 18'). The applicant's building elevations indicate the proposed patio cover will be 450 SF (18' X 25').

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows maximum of two (2) accessory structures with a maximum square footage of 144 SF. The Unified Development Code (UDC) allows one (1) of these accessory structures to be a detached covered porch with a maximum square footage of 500 SF. The proposed detached covered porch is 450 SF and currently there are two (2) existing unpermitted accessory structures, with one being an accessory building with a building footprint of 200 SF and the second being a patio cover that is 450 SF. Since the existing accessory building was not permitted and is 56 SF over the maximum allowed square footage for an accessory building in a Single-Family 10 (SF-10) District, the accessory building is included with this Specific Use Permit (SUP) request. Staff should note that the applicant did pay the non-compliant structure fee of \$1000.00 and staff has added the condition of approval that the applicant shall obtain a building permit for all three (3) accessory structures upon approval of this Specific Use Permit (SUP).

STAFF ANALYSIS

In reviewing a Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider: [1] if the structure was constructed without a permit or under false pretenses, [2] the size of the proposed accessory structure compared to the size of other accessory structures in the area/neighborhood/subdivision, and [3] the size, architecture and building materials proposed for the structure compared to those of the primary structure. The proposed *Accessory Structures* submitted by the applicant do not appear to create a negative impact on any of the adjacent properties; however, it could set a precedence with regard to the size of the existing structure and number of accessory structures per lot in this neighborhood, given that the majority of the accessory structures and additions (i.e. sports courts, artificial turf, etc.) in this particular subdivision are unpermitted. For example, staff examined other accessory buildings located on properties within Gideon Grove North, and found seven (7) properties with accessory structures within the rear yard of the property (i.e. 1206, 1304, & 1324 Gideon Way, 1208, & 1326 Middleton Drive, 1309 & 1328 Kirkwood Road), all of these structures appear to be similar in size and primarily used for either storage or as a shade structure. However, only two (2) of the accessory structures found by aerials were permitted. With all that being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 18, 2024, staff mailed 60 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stoney Hollow Homeowner's Association (HOA), which is the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received five (5) notices back in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - a) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this Specific Use Permit (SUP) ordinance.
 - b) The construction of a *Covered Porch* -- depicted as *Structure '1'* in *Exhibit 'B'* -- on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this Specific Use Permit (SUP) ordinance.
 - c) The construction of the *Accessory Building* -- depicted as *Structure '2'* in *Exhibit 'B'* -- on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'D'* of this Specific Use Permit (SUP) ordinance.
 - d) The *Covered Porch* depicted in *Exhibit 'B'* as *Structure '1'* shall not exceed a maximum size of 450 SF.
 - e) The *Accessory Building* depicted in *Exhibit 'B'* as *Structure '2'* shall not exceed a maximum size of 200 SF.
 - f) The subject property shall be limited to a maximum of three (3) accessory structures.
 - g) The maximum height of the *Covered Porch* depicted in *Exhibit 'B'* as *Structure '1'* shall not exceed a total height of 12-feet as measured to the mid-point of the pitched roof.
 - h) The maximum height of the *Accessory Building* depicted in *Exhibit 'B'* as *Structure '2'* shall not exceed a total height of 10-feet as measured to highest point of the pitched roof.
 - i) A building permit shall be obtained for the existing three (3) accessory structures (*i.e. the two [2] Covered Porches and Accessory Building*).

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ & ²
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1202 GIDEON WAY ROCKWALL, TX 75087

SUBDIVISION GIDEON GROVE - PHASE 1 LOT 7 BLOCK 1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL CURRENT USE RESIDENTIAL

PROPOSED ZONING PROPOSED USE

ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Russ + Kim Dignam APPLICANT Russ + Kim Dignam

CONTACT PERSON Kim Dignam CONTACT PERSON Kim Dignam

ADDRESS 1202 GIDEON WAY ADDRESS 1202 GIDEON WAY

CITY, STATE & ZIP Rockwall, TX 75087 CITY, STATE & ZIP Rockwall, TX 75087

PHONE 972-523-7020 PHONE 972-523-7020

E-MAIL Kdignam@windsorhomesTX.com E-MAIL Kdignam@windsorhomesTX.com

NOTARY VERIFICATION [REQUIRED]

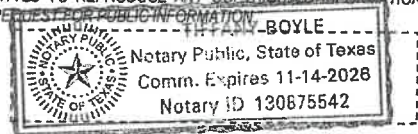
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Dignam [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF SEPTEMBER, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2024

OWNER'S SIGNATURE Kim Dignam

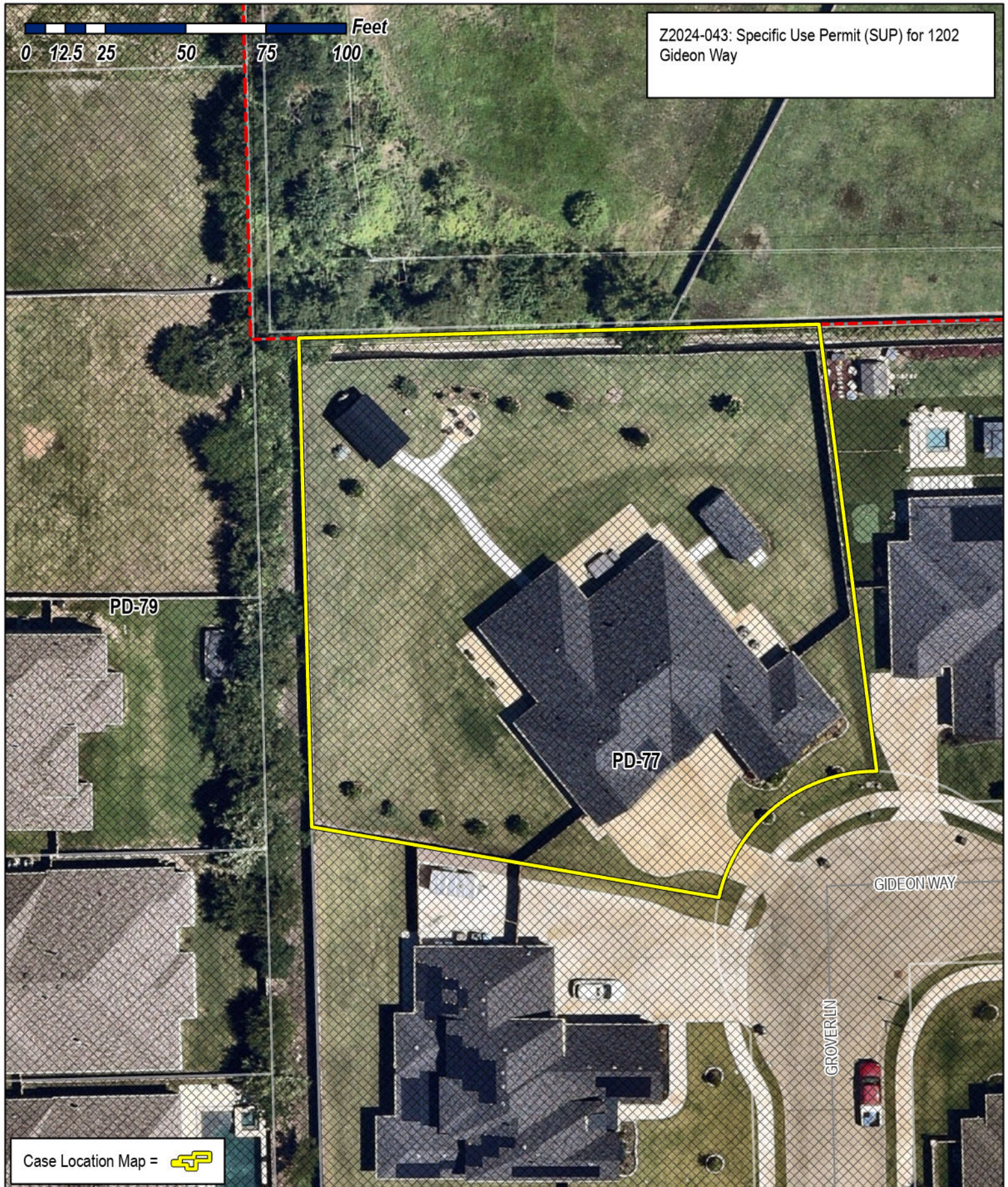
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Diffany Boyle



MY COMMISSION EXPIRES 11-14-2028



Z2024-043: Specific Use Permit (SUP) for 1202 Gideon Way



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

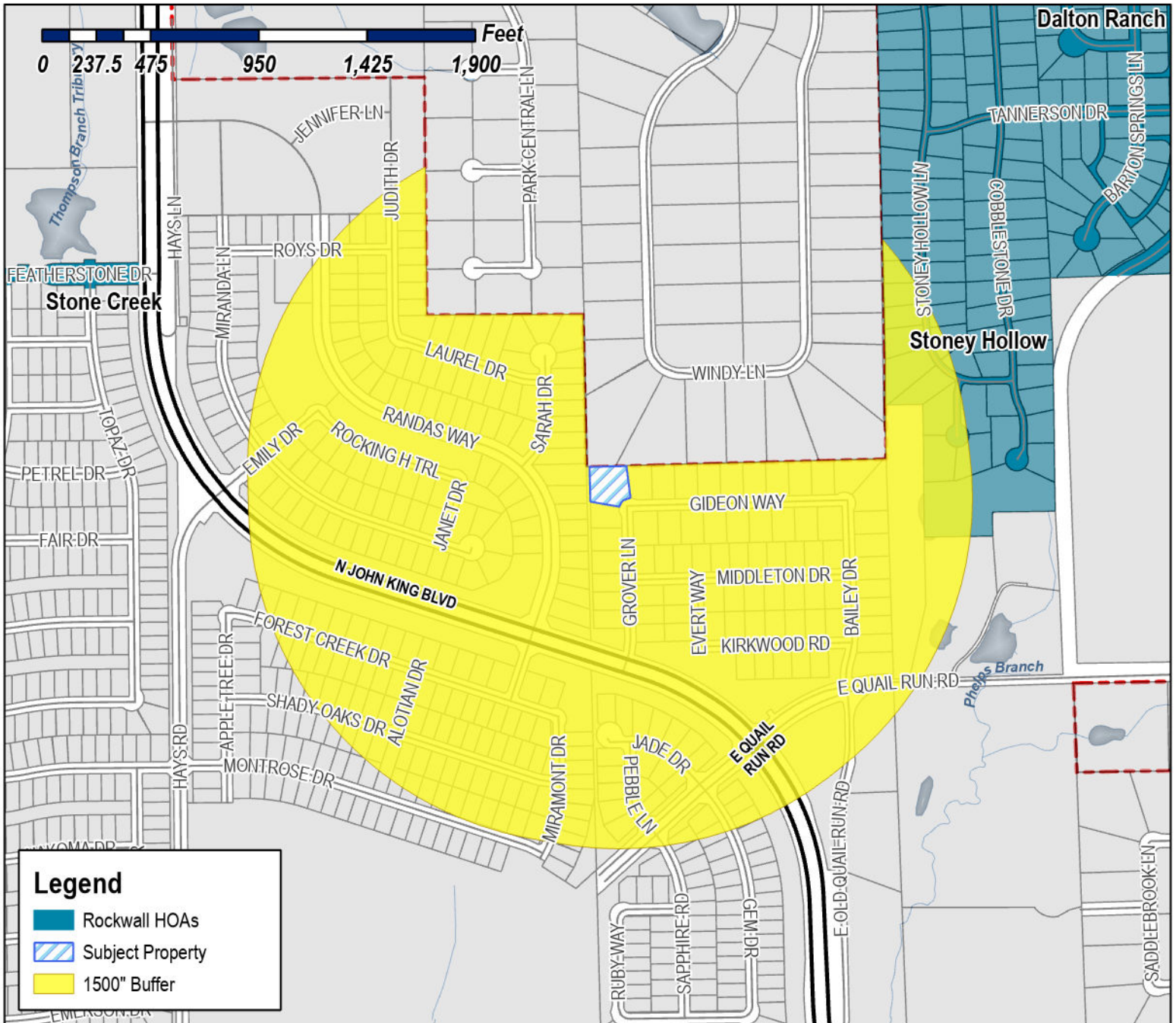




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Case Number: Z2024-043
Case Name: SUP to allow more than one (1) accessory structure
Case Type: Zoning
Zoning: Planned Development District 77 (PD-77)
Case Address: 1202 Gideon Way

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, September 18, 2024 10:45 AM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2024-043]
Attachments: Public Notice (P&Z) (09.16.2024).pdf; HOA Map (09.13.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, September 20, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 15, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 21, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-043: SUP to allow more than one (1) accessory structure

Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a *Specific Use Permit (SUP)* to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

Thank you,

Melanie Zavala

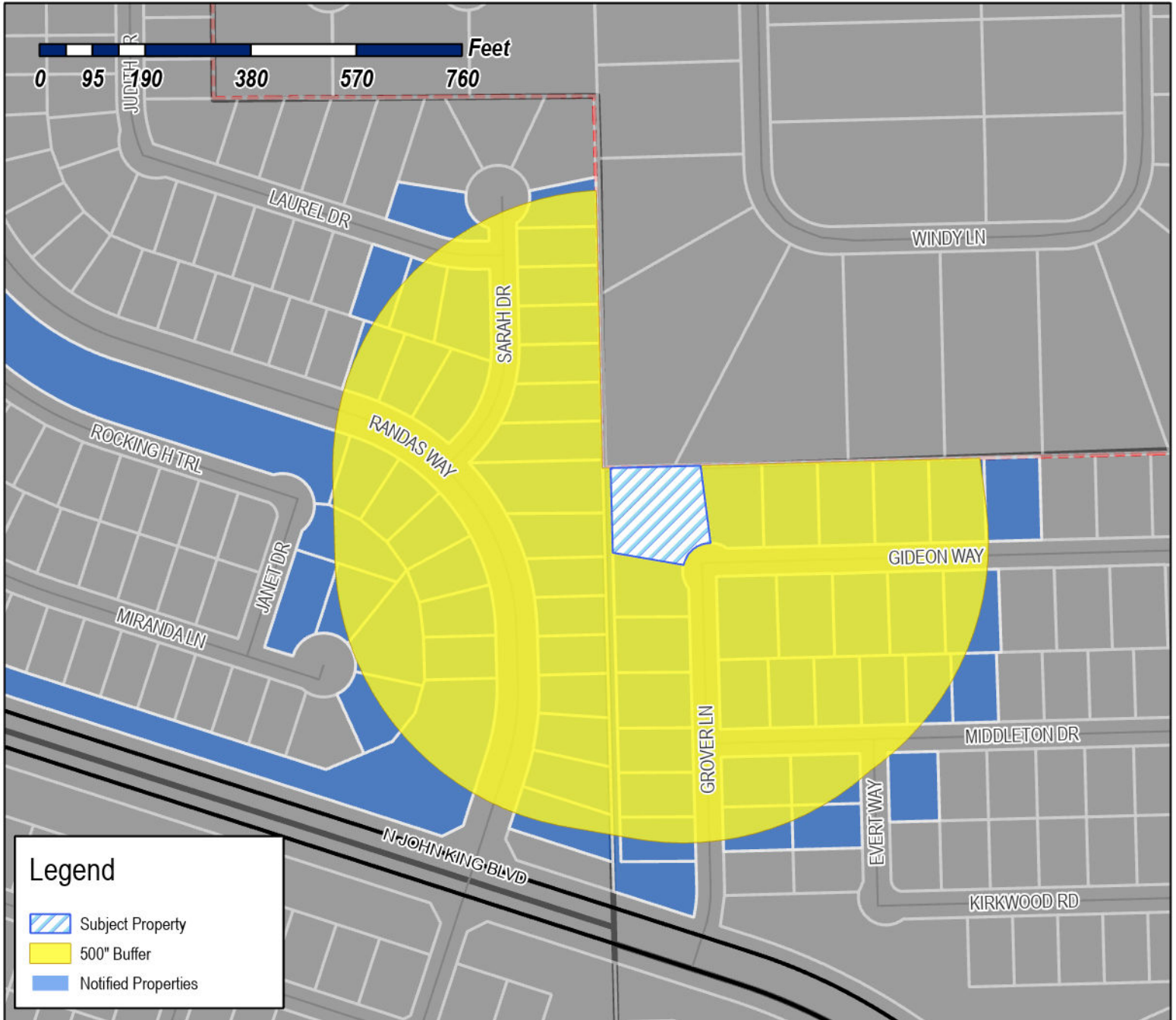
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-043
Case Name: SUP to allow more than one (1) accessory structure
Case Type: Zoning
Zoning: Planned Development District 77 (PD-77)
Case Address: 1202 Gideon Way

Date Saved: 9/13/2024

For Questions on this Case Call: (972) 771-7745



GIDEON GROVE HOMEOWNERS ASSOCIATION
INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

DIGNAM KIMBERLY SUE AND RUSSELL JEREMY
1202 GIDEON WAY
ROCKWALL, TX 75087

HUSAIN SYED SAMAR AND SURAYA SAMAR
1204 MIDDLETON DRIVE
ROCKWALL, TX 75087

BOBBITT CARL E AND PRUDENCE D
1206 GIDEON WAY
ROCKWALL, TX 75087

2021 R S HERRERA REVOCABLE TRUST
1207 GIDEON WAY
ROCKWALL, TX 75087

EDDINGS JACKIE AND CAROLYN
1208 MIDDLETON DRIVE
ROCKWALL, TX 75087

HOOKS JARRED AND BETHANY
1210 GIDEON WAY
ROCKWALL, TX 75087

PAGE JACOB STEWART AND JESSIE ANN
1211 GIDEON WAY
ROCKWALL, TX 75087

THOMAS BARBARA AND ISAAC
1212 MIDDLETON DRIVE
ROCKWALL, TX 75087

CONWAY DENNETT EUGENE AND MARY
1214 GIDEON WAY
ROCKWALL, TX 75087

DRAPER CASEY & LINDSAY JUNE
1215 GIDEON WAY
ROCKWALL, TX 75087

CURTIS JEREL & NATALIE LANEER
1302 MIDDLETON DRIVE
ROCKWALL, TX 75087

GAGA TESFAYE &
1303 MIDDLETON DR
ROCKWALL, TX 75087

GUMM BRIAN KEVIN AND PENNY DIANE
1304 GIDEON WAY
ROCKWALL, TX 75087

SAFAR JOHN A
1305 GIDEON WAY
ROCKWALL, TX 75087

MERZ ANDREW ALBERT AND AMANDA JAYNE
1306 MIDDLETON DRIVE
ROCKWALL, TX 75087

PONCE EDUARDO AND ODETT A
1308 GIDEON WAY
ROCKWALL, TX 75087

MOSCHELLA ANTHONY CHARLES AND ASHLEY
EASLEY
1309 GIDEON WAY
ROCKWALL, TX 75087

GOOCH GARY QUINN AND DANIELLE M
1310 MIDDLETON DRIVE
ROCKWALL, TX 75087

ADAMSON KEVIN E AND BECKY B
1312 GIDEON WAY
ROCKWALL, TX 75087

APPIAH-OWUSA NANA AND
14400 THE LAKES BLVD BUILDING C SUITE 200
PFLUGERVILLE, TX 78660

GERENA PRISCILLA SCHAR- AND
2007 GROVER LANE
ROCKWALL, TX 75087

SCHAR ROY
2008 GROVER LANE
ROCKWALL, TX 75087

FLORES ADRIAN JR AND GABRIELA S
2009 EVERT WAY
ROCKWALL, TX 75087

WOLSTENCROFT LISA AND BRIAN
2011 GROVER LANE
ROCKWALL, TX 75087

RESIDENT
2012 GROVER LANE
ROCKWALL, TX 75087

MORICO JOSEPH EMILIO JR AND JENNIFER M
2013 EVERT WAY
ROCKWALL, TX 75087

IVEY JOSHUA LUKE & SAMANTHA
2015 GROVER LANE
ROCKWALL, TX 75087

WHITE WALTER AND SHRONDA
2105 GROVER LANE
ROCKWALL, TX 75087

BUSCHOLD BRANDON ULRICH AND CATHERINE
2106 JANET DR
FATE, TX 75087

CHINN CHARLES MICHAEL AND JANICE IRWIN
AND
2109 GROVER LN
ROCKWALL, TX 75087

ALLUM MICHAEL D JR & CHERIE M
2113 GROVER LN
ROCKWALL, TX 75087

TOUGAW RONALD LYNN JR AND LAURA JEAN
2120 RANDAS WAY
ROCKWALL, TX 75087

VANBOLDEN KRISTEN AND
2121 RANDAS WAY
ROCKWALL, TX 75087

LOCKRIDGE DIANNE M AND GEORGE F
2125 RANDAS WAY
ROCKWALL, TX 75087

BONORDEN THOMAS EVERETT AND SHERRY
LYNN
2131 RANDAS WAY
ROCKWALL, TX 75087

SIMON BICKY AND RUBY
2135 RANDAS WAY
ROCKWALL, TX 75087

EDMONDSON DANIELA VELASQUEZ AND
CHRISTOPHER R SUAREZ
2136 RANDAS WAY
ROCKWALL, TX 75087

SADDEL STAR HOMEOWNERS ASSOCIATION
2200 ROSS AVENUE SUITE 4200W
DALLAS, TX 75201

RESIDENT
2201 LAUREL DR
ROCKWALL, TX 75087

DAVIS APRIL SHERIE AND ANTHONY B
2201 MIRANDA LANE
ROCKWALL, TX 75087

CAMPION ANGELA
2201 RANDAS WAY
ROCKWALL, TX 75087

BRAMALL JESSE WAYNE AND DANIELLE NICOLE
2202 MIRABDA LANE
ROCKWALL, TX 75087

CARES CRAIG MAYO
2202 RANDAS WAY
ROCKWALL, TX 75087

BROWN KYLE AND KELLI
2204 MIRANDA LANE
ROCKWALL, TX 75087

RESIDENT
2204 MIRANDA LN
ROCKWALL, TX 75087

RESIDENT
2205 LAUREL DR
ROCKWALL, TX 75087

HERMONSTINE LESLYN ANN AND
2206 RANDAS WAY
ROCKWALL, TX 75087

EVERHART RYAN M AND KARA GILLILAND
2207 RANDAS WAY
ROCKWALL, TX 75087

VASQUEZ ANTONIO RAMOS JR AND MELISSA
ELOHIM
2208 MIRANDA LANE
ROCKWALL, TX 75087

RESIDENT
2208 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2209 LAUREL DR
ROCKWALL, TX 75087

BAYLOR SEQUOIA & TWONDELL YAYA
2210 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2212 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2216 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2220 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2302 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2303 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2306 SARAH DR
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC
2700 COMMERCE ST SUITE 1600
DALLAS, TX 75226

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-043: SUP to allow more than the permitted number of accessory structures

Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-043: SUP to allow more than the permitted number of accessory structures

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

THEY HAVE A LARGE LOT WITH PLENTY OF ROOM.

Name: MICHAEL & CHERIE ALLUM
Address: 2113 GROVER LANE ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-043

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This request is in the rear yard invisible to public view. Unless it creates drainage problems for others or a fire hazard... it should be fine.

Respondent Information

Please provide your information.

First Name *

Carl & Prudence

Last Name *

Bobbitt

Address *

1206 Gideon Way

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

Ross, Bethany

From: Dennett Conway <deconwa@yahoo.com>
Sent: Wednesday, October 2, 2024 1:40 PM
To: Planning
Subject: Case No. Z2024-043: SUP to allow more than the permitted number of accessory structures

Hi Bethany,
This is Denny and Mary Conway at 1214 Gideon Way, Rockwall TX.

I talked to Russ and he mentioned that they are looking to add a pool with an awning in addition to their Gazebo and Shed in their back yard.

We approve this request.

Sincerely,
Denny and Mary Conway

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Bethany Ross

Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-043: SUP to allow more than the permitted number of accessory structures

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

Name:

BRIAN & PENNY GOMM

Address:

1304 GIDEON WAY ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2024-043: SUP to allow more than the permitted number of accessory structures

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Should not affect any home in the neighborhood or appearance from the front

Name: John Safar
Address: 1305 Gideon Way, Rockwall, TX 75087

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

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-043
Case Name: SUP to allow more than one (1) accessory structure
Case Type: Zoning
Zoning: Planned Development District 77 (PD-77)
Case Address: 1202 Gideon Way

Date Saved: 9/13/2024

For Questions on this Case Call: (972) 771-7745



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PLANNING AND ZONING DEPARTMENT
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Director of Planning & Zoning



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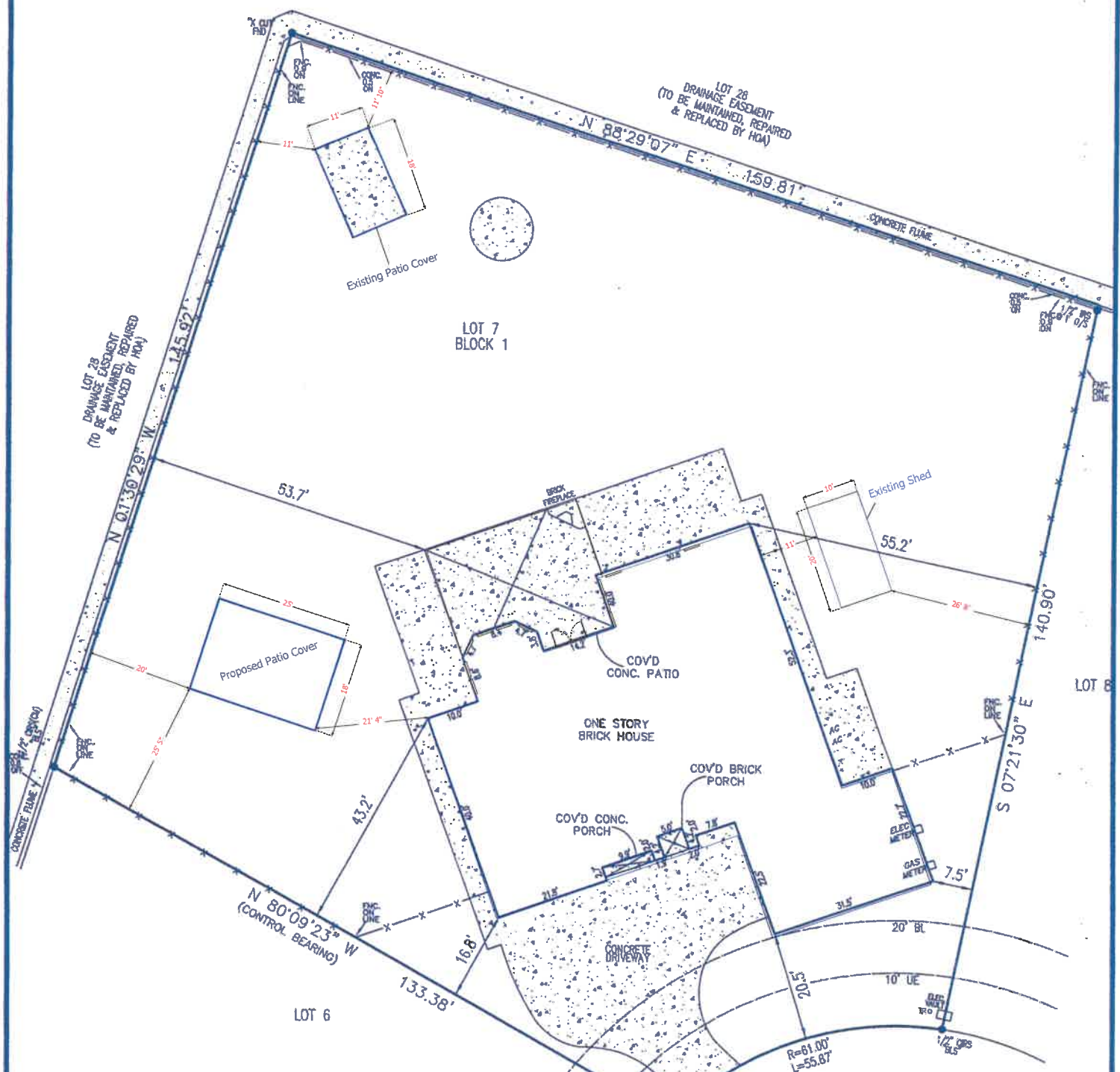
Name:

Address:

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PLAT SHOWING
 Lot 7, Block 1 of GIDEON GROVE - NORTH, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded under Clerk's File No. 2020000008939, Official Public Records, Rockwall County, Texas.
1202 GIDEON WAY



- NOTES:**
 To the best of my knowledge and belief:
 I certify to Alliant National Title Insurance Company and Benchmark Title:
- 1) This survey was prepared in conjunction with and from a Title Commitment prepared by Title Resources Guaranty Company and Benchmark Title; Title Commitment GF No. PL20-28085, Effective Date: 10/28/2020.
 - 2) Subject to building lines and easements referenced and/or depicted under Clerk's File No. 2020000008939, O.P.R.R.C.T.(plat), Instr. No. 2019000008883 (plat), and the aforementioned Title Commitment.
 - 3) Easements recorded in Vol. 82, Pg. 358, D.R.R.C.T. and Vol. 5951, Pg. 84, O.P.R.R.C.T., appear to be subsurface easement for under pipelines.
 - 4) Subsurface structure(s), utilities, and easements are beyond the scope of this survey.
 - 5) Terms, provisions, stipulations, conditions, restrictions, drainage, minerals, covenants, assessments, agreements, obligations, rights, privileges, ordinances, immunities, and/or liens are beyond the scope of this survey.

VERTICAL DATUM
 ELEVATIONS SHOWN HEREON ARE BASED ON GRADING PLANS PROVIDED BY WINDSOR HOMES.

BEARING SOURCE
 BEARINGS SHOWN HEREON ARE BASED ON THE PLAT RECORDED UNDER CLERK'S FILE NO. 2020000008939, O.P.R.R.C.T. (PLAT)



"The Plat herein is an accurate representation of the property as determined by a survey made on the ground under my direction and supervision on the date shown below, the lines and dimensions of said property being as indicated by the Plat, the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, except as shown, set back from the property lines the distances indicated and that the distances from the nearest intersecting street or road is as shown on said Plat. There are no apparent encroachments, conflicts, protrusions or apparent encroachments, except as shown."

SURVEY DATE: 11/25/2020

LEGEND

- BL = BUILDING LINE
- UE = UTILITY EASEMENT
- DE = DRAINAGE EASEMENT
- CM = CONTROLLING MONUMENT
- IRF = IRON ROD FOUND
- IRS = IRON ROD SET
- IR = IRON ROD
- X = FENCE
- = DIRECTION OF FLOW

SCALE: 1" = 20'

DRAWN BY: SAR

JOB # W-070-01-07

BLS JOB # 2000215-05

WINDSOR

BARROW LAND SURVEYING

Platting / Planning / Residential / Commercial

3970 SANDSHELL DRIVE
 FORT WORTH, TEXAS 76137
 PHONE (817) 961-0082
 FAX (817) 961-0086
 FIRM REGISTRATION NO. 10183700

FLOOD CERTIFICATION
 Subject property is located in Zone X (unshaded) according to the Flood Insurance Rate Map Community Panel Map # 48397C030 L. Map Revised: September 26, 2008.

Zone X (unshaded)
 Areas determined to be outside the 0.2% annual chance floodplain.

Determination based on graphical scaling from the above listed map, only.

This flood statement does not create liability on part of the surveyor and/or surveying company.

© 2017 Pool Studio

 Pool Studio

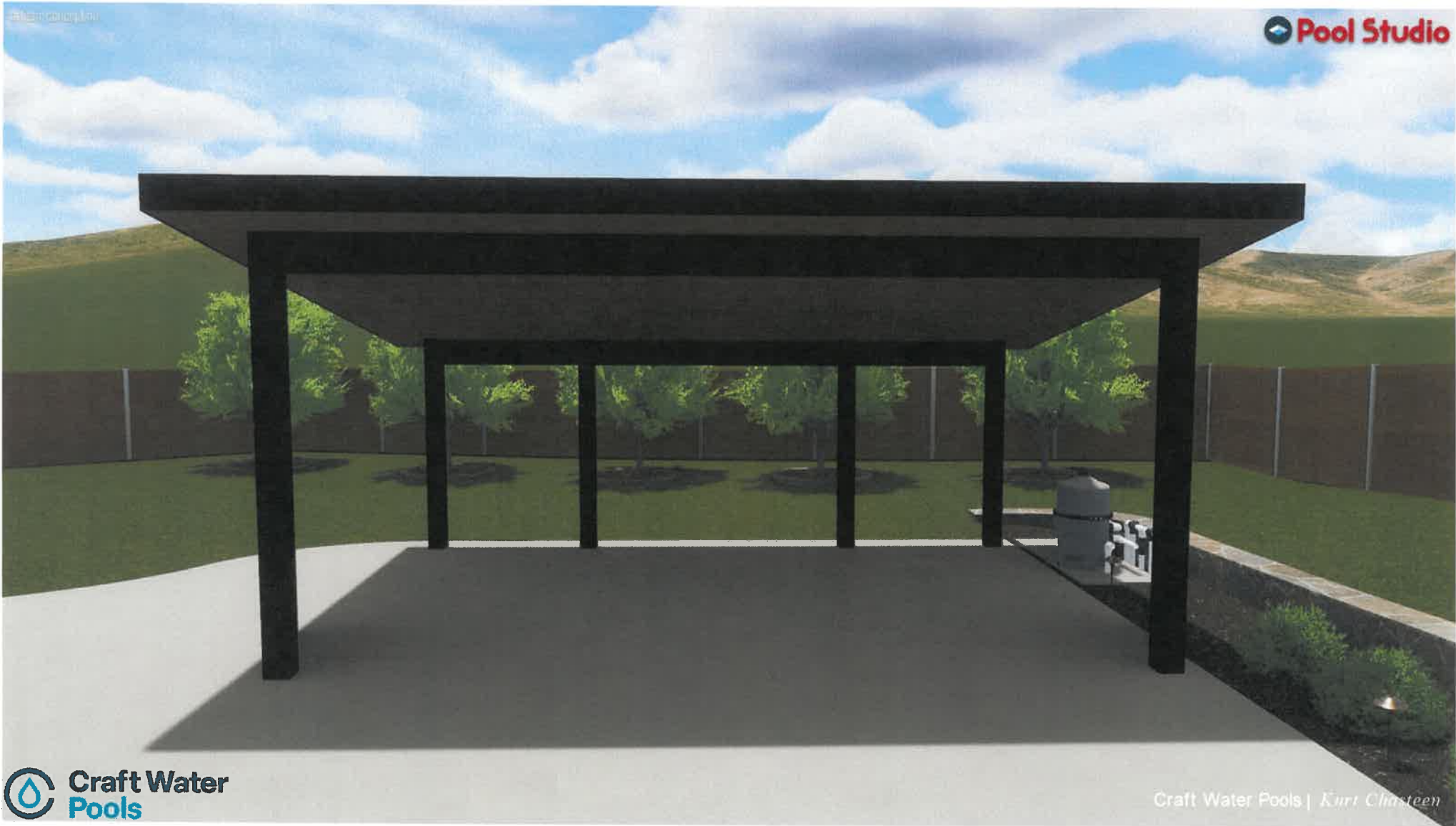


 Craft Water Pools

Craft Water Pools | Kurt Clusteen

© 2019 Pool Studio

 Pool Studio



 Craft Water Pools

Craft Water Pools | Kurt Chasteen

10' wide x20' long x9.5' tall



11' wide x 18' deep x 12.6' tall









CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 77 (PD-77) [ORDINANCE NO. 15-20] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM SQUARE FOOTAGE AND FOR MORE ACCESSORY STRUCTURES THAN PERMITTED ON A 0.6048-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK 7, GIDEON GROVE NORTH ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow for an accessory building that exceeds the maximum square footage and for more accessory structures than permitted on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 77 (PD-77) and Subsection 03.01, General Residential District

Standards, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Pergola* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Covered Porch* -- depicted as *Structure '1'* in *Exhibit 'B'* -- on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this Specific Use Permit (SUP) ordinance.
- (3) The construction of the *Accessory Building* -- depicted as *Structure '2'* in *Exhibit 'B'* -- on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'D'* of this Specific Use Permit (SUP) ordinance.
- (4) The *Covered Porch* depicted in *Exhibit 'B'* as *Structure '1'* shall not exceed a maximum size of 450 SF.
- (5) The *Accessory Building* depicted in *Exhibit 'B'* as *Structure '2'* shall not exceed a maximum size of 200 SF.
- (6) The subject property shall be limited to a maximum of three (3) accessory structures.
- (7) The maximum height of the *Covered Porch* depicted in *Exhibit 'B'* as *Structure '1'* shall not exceed a total height of 12-feet as measured to the mid-point of the pitched roof.
- (8) The maximum height of the *Accessory Building* depicted in *Exhibit 'B'* as *Structure '2'* shall not exceed a total height of 10-feet as measured to highest point of the pitched roof.
- (9) A building permit shall be obtained for the existing three (3) accessory structures (*i.e. the two [2] Covered Porches and Accessory Building*).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF NOVEMBER, 2024.**

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

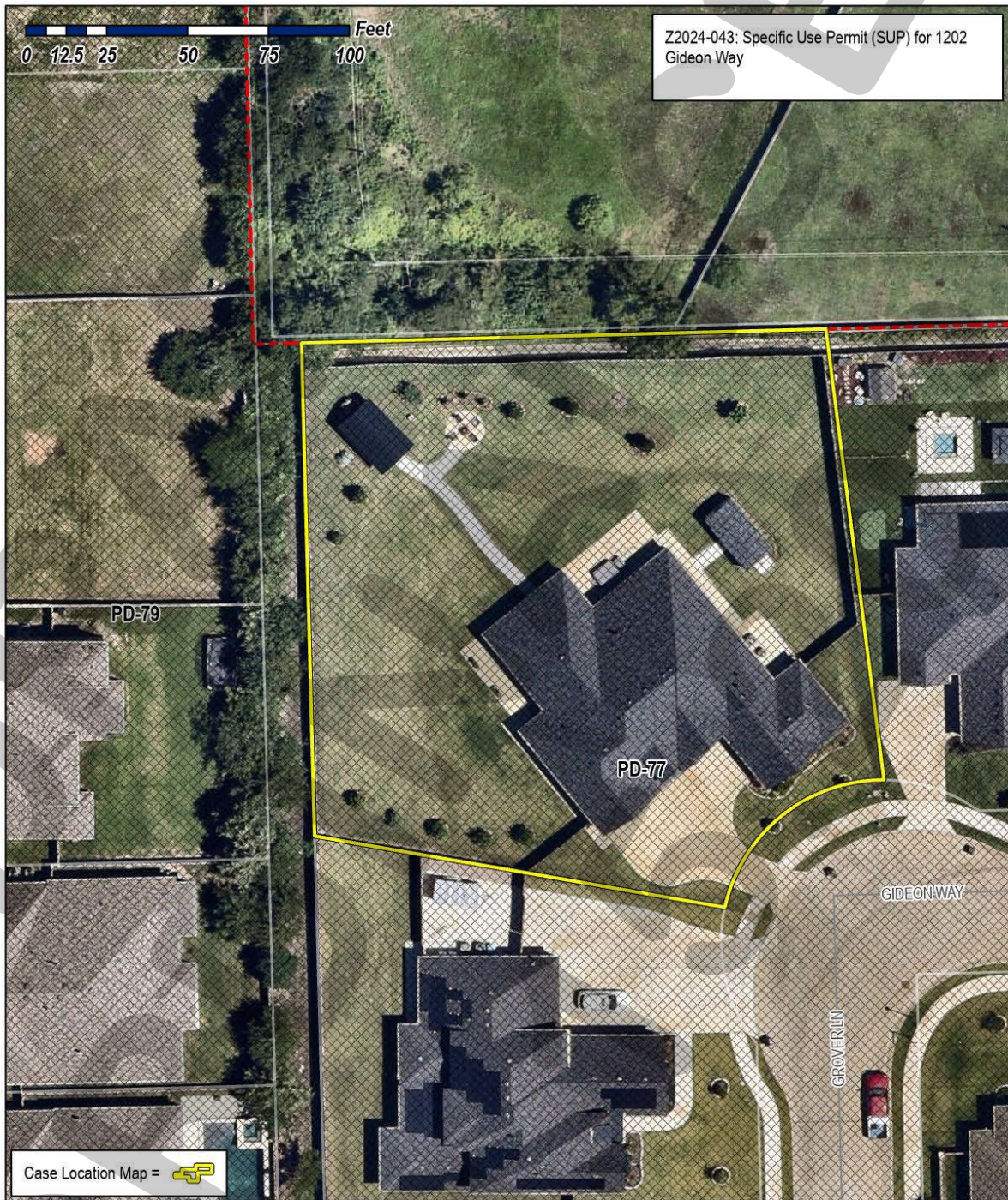
1st Reading: October 21, 2024

2nd Reading: November 4, 2024

Exhibit 'A'
Survey and Legal Description

Address: 1202 Gideon Way

Legal Description: Lot 1, Block 7, Gideon Grove North Addition



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Exhibit 'B': Residential Plot Plan

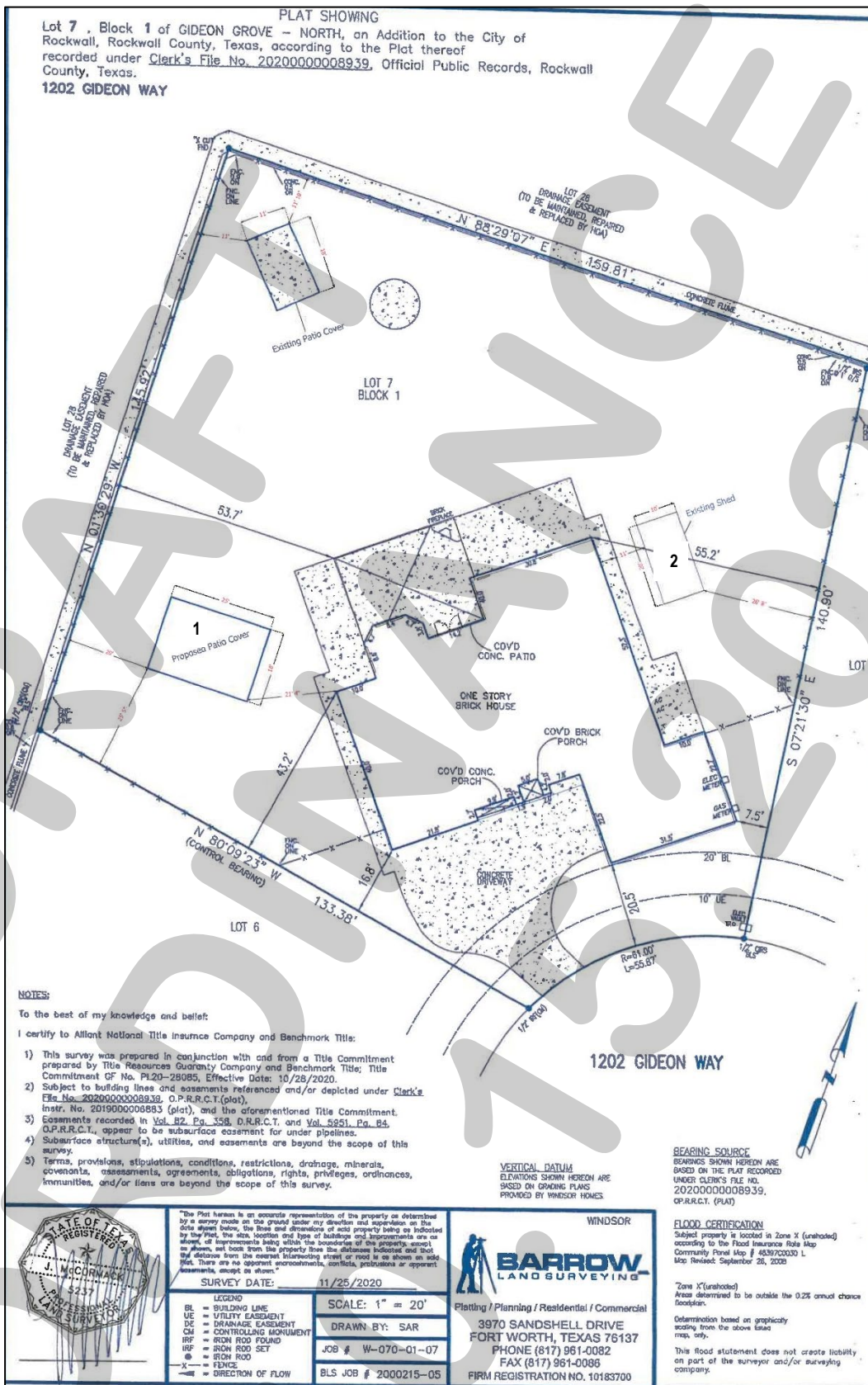


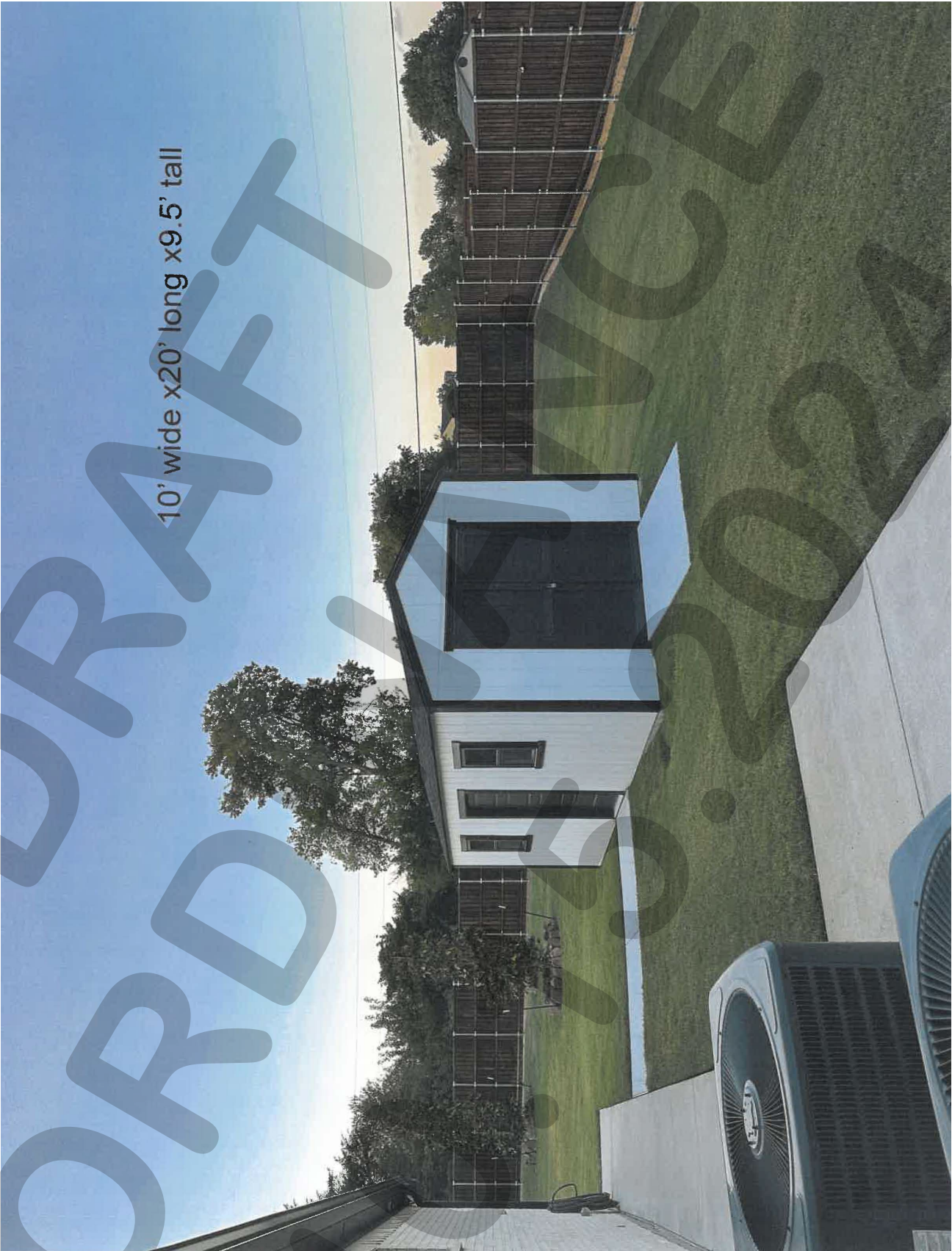
Exhibit 'C':
Building Elevations (Covered Porch)



Exhibit 'C':
Building Elevations (Covered Porch)



Exhibit 'D':
Building Elevations (Accessory Building)





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 15, 2024
APPLICANT: Trenton Austin
CASE NUMBER: Z2024-044; *Specific Use Permit (SUP) for a Short-Term Rental at 806 Austin Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a Specific Use Permit (SUP) for a *Short-Term Rental* on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

BACKGROUND

The subject property is considered to be a part of Old Town Rockwall, and was platted with the F&M Addition prior to 1934 per the 1934 Sanborn Maps. According to the City's historic zoning maps, at some point after the time of incorporation and before January 3, 1972, the subject property was zoned Single-Family 3 (SF-3) District. Following this, sometime between January 22, 1982 and May 16, 1983, the subject property was rezoned from a Single-Family 3 (SF-3) District to Single-Family 7 (SF-7) District. According to the Rockwall Central Appraisal District (RCAD) the 1,214 SF single-family home and the ~480 SF detached garage situated on the subject property were constructed in 1952.

PURPOSE

The applicant -- *Trenton Austin* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of allowing a *Short-Term Rental (Non-Owner-Occupied Single-Family Home)* on the subject property, which is located within 1,000-feet of an existing *Short-Term Rental (Non-Owner-Occupied Single-Family Home)*.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 806 Austin Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) parcels of land (*i.e. 808 Austin Street and 500 E. Heath Street*) that are developed with single-family homes and zoned Single-Family 7 (SF-7) District. Beyond this is Heath Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is are two (2) single-family residential lots (*i.e. 505 Cornelia Street and 703 Parks Avenue*) zoned Single-Family 7 (SF-7) District. These properties are developed with single-family homes. Beyond this is Parks Avenue, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.190-acre parcel of land (*i.e. 501 Cornelia Street*) which is zoned Single-Family 7 (SF-7) District and developed with a single-family home. Beyond this is Cornelia Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Austin Street, which is classified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040

Comprehensive Plan. Beyond this is two (2) single-family residential lots zoned Single-Family 7 (SF-7) District. One of these (*i.e.* 803 Austin Street) is developed with a single-family home and the other (*i.e.* 806 Kernodle) is vacant. Beyond that is Kernodle Street, which is classified as a R2U (*i.e.* residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

On April 1, 2024, the City Council approved *Ordinance No. 24-10*, which amended both the Unified Development Code (UDC) and the Municipal Code of Ordinances for the purpose of creating zoning and regulatory restrictions for *Short-Term Rentals*. Specifically, this ordinance: [1] amended the *Permissible Land Use Charts* to create a *Short-Term Rental* land use, [2] created *Conditional Land Use Standards* for each type of *Short-Term Rental* (*i.e.* *Owner Occupied* and *Non-Owner Occupied*), [3] created a *Short-Term Rental Permit and Registration Program*, [4] created *General Standards for Short-Term Rentals*, [5] established a minimum general commercial insurance coverage requirement, [6] established enforcement and penalty procedures, [7] required a responsible party as part of the permit and registration, [8] created an appeal process, and [9] established non-conforming rights for properties that were in operation prior to the adoption of the ordinance. As part of this process, staff sent out notices to all existing *Short-Term Rentals* in the City of Rockwall, and established a *grace period* from April 1, 2024 to July 1, 2024 to allow existing *Short-Term Rentals* the ability to submit for a *Short-Term Rental Permit and Registration*. During this *grace period* existing *Short-Term Rentals* were exempted from the proximity requirements established by the zoning ordinance.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Short-Term Rental* is defined as "... a residential dwelling unit, apartment, condominium, or *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant. In practice, a *Short-Term Rental* is considered to be a residential land use, and is not considered to be a *Limited-Service Hotel, Full-Service Hotel, Residence Hotel, Motel, or Bed and Breakfast* as defined in this Unified Development Code

(UDC)". This definition section goes on to define a *Non-Owner Occupied Short-Term Rental* as "(a) single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property)." According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Non-Owner Occupied Short-Term Rental* is permitted in a Single-Family 7 (SF-7) District with the following conditions:

- (a) *Short-Term Rentals* that are *Non-Owner-Occupied* shall not be located within 1,000-feet of another *Short-Term Rental* that is *Non-Owner Occupied*; however, *Short-Term Rentals* that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, *Non-Conforming Short-Term Rentals*, of this Article, and [2] received a valid permit and registration -- in accordance with Article 2, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances* -- prior to July 1, 2024 shall be exempted from the proximity requirements.
- (b) *Short-Term Rentals* that are *Non-Owner-Occupied* that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a *Specific Use Permit (SUP)*. In considering a *Specific Use Permit (SUP)* for a *Short-Term Rental* that is *Non-Owner-Occupied* the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing *Short-Term Rentals* on the adjacent residential properties and their occupants.
- (c) The *Short-Term Rental* shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. *Banquet Facility/Event Hall which includes meeting halls and wedding venues*) as stipulated by the *Permissible Use Charts*.
- (d) In order to establish and operate a *Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances*.

In this case, the applicant submitted a request for a *Non-Owner-Occupied Short-Term Rental (STR)* at 806 Austin Street, and at the time of application it was determined that there was already a permitted *Non-Owner Occupied Short-Term Rental* next door to the subject property, and that the applicant's request failed to meet the proximity requirements to allow another *Non-Owner-Occupied Short-Term Rental*. Based on this, the applicant was notified that a *Specific Use Permit (SUP)* would need to be requested before the *Short-Term Rental Permit* could be submitted and issued. In response to this, the applicant has provided the necessary permit application and photos of the property, which are included in the attached packet.

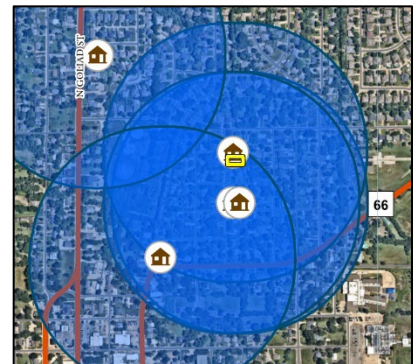


FIGURE 1: SUBJECT PROPERTY PROXIMITY TO EXISTING NON-OWNER-OCCUPIED SHORT-TERM RENTAL

STAFF'S ANALYSIS

When evaluating a *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental*, the Planning and Zoning Commission and City Council should assess the size, location, and impact of both the proposed and existing *Short-Term Rentals* on nearby residential properties and their occupants. The proposed *Short-Term Rental* is located zero (0) feet from an existing, permitted *Non-Owner-Occupied Short-Term Rental* (i.e. 808 Austin Street) [Permit No. STR2024-2966] that accommodates up to six (6) guests with three (3) bedrooms and two (2) bathrooms. It is also located within the 1000-foot buffer of three (3) other *Non-Owner-Occupied Short-Term Rentals (STRs)* [i.e. 303 Williams, 503 Lillian, & 501 Lillian Street]. These four (4) *Non-Owner-Occupied Short-Term Rentals (STRs)* were in existence before the *Short-Term Rental (STR)* ordinance was adopted on April 1, 2024 and applied for the *Short-Term Rental (STR)* permit within the three (3) month grace period. The proposed *Short-Term Rental* is a 1,214 SF single-family home that has two (2) bedrooms and two (2) bathrooms. In this case, the City Council – pending a recommendation from the Planning and Zoning Commission – must consider if the request for the *Specific Use Permit (SUP)* for a *Non-Owner Occupied Short-Term Rental (STR)* would constitute a proliferation of the land use. With all that being said, a *Specific Use Permit (SUP)* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 18, 2024, staff mailed 114 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Preserve and Hillcrest at the Shores Homeowners Associations (HOAs), which are the only homeowners associations or neighborhood organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received three (3) notices in opposition and one (1) notice in favor.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Non-Owner Occupied Short-Term Rental (STR), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (1) The *Subject Property* shall conform to the information provided within the Short-Term Rental Permit Application depicted in *Exhibits 'B'* of this ordinance; and,
 - (2) After the issuance of a Short-Term Rental Permit and Registration by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, Specific Use Permit (SUP), of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).
- (2) Upon obtaining a Short-Term Rental Permit and Registration, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR OUT OF COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

806 AUSTIN ST. ROCKWALL, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

SF 7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

SHORT TERM RENTAL

ACREAGE

LOTS (CURRENT)

LOTS (PROPOSED)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

APPLICANT

CONTACT PERSON

Trenton Austin

CONTACT PERSON

ADDRESS

1340 Blanchard Hwy

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-922-5267

PHONE

E-MAIL

taustin@stplumbingservices.com

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Trenton Austin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF September, 2024

OWNER'S SIGNATURE

Trenton Austin

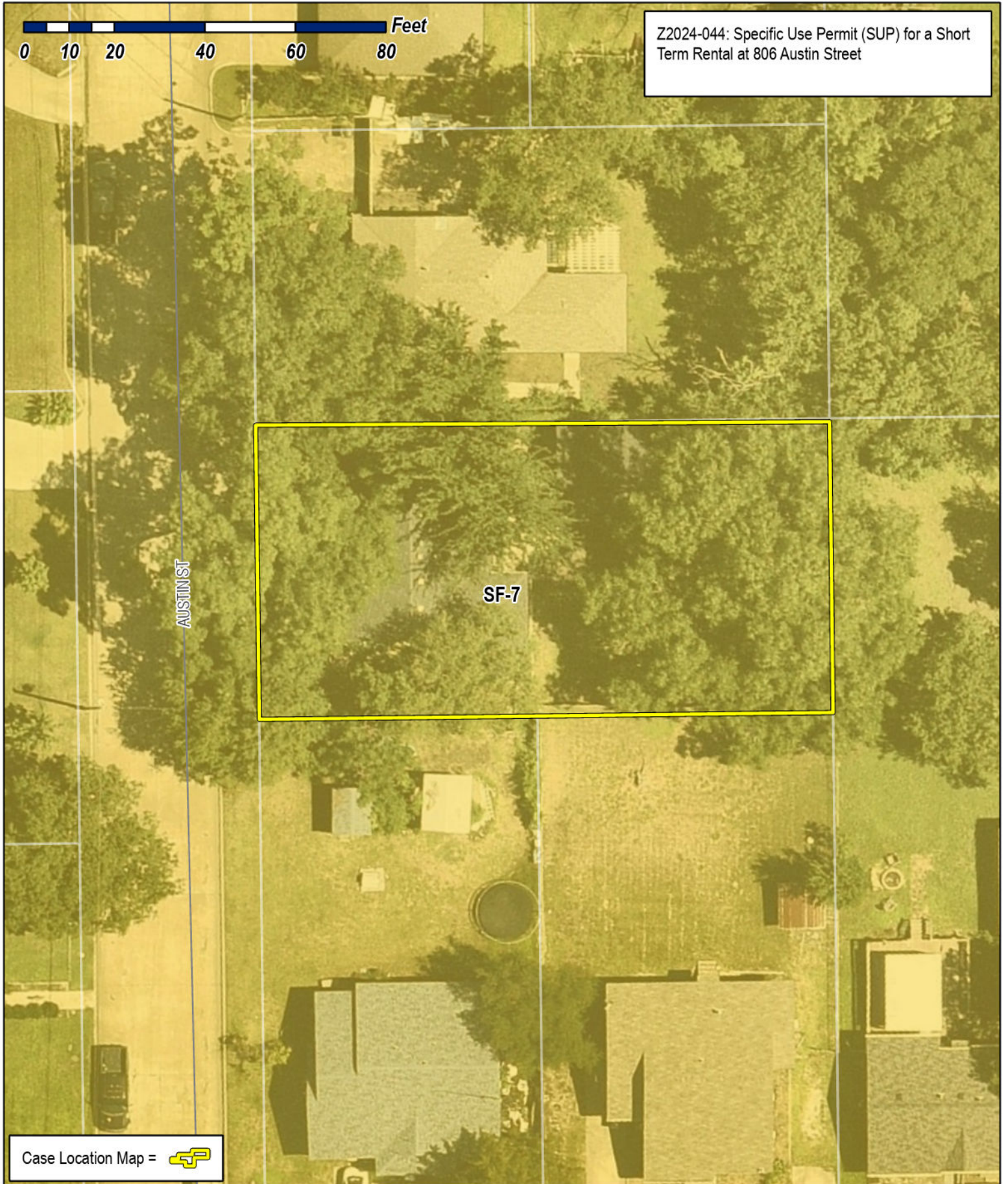
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Tara Riggs





Z2024-044: Specific Use Permit (SUP) for a Short Term Rental at 806 Austin Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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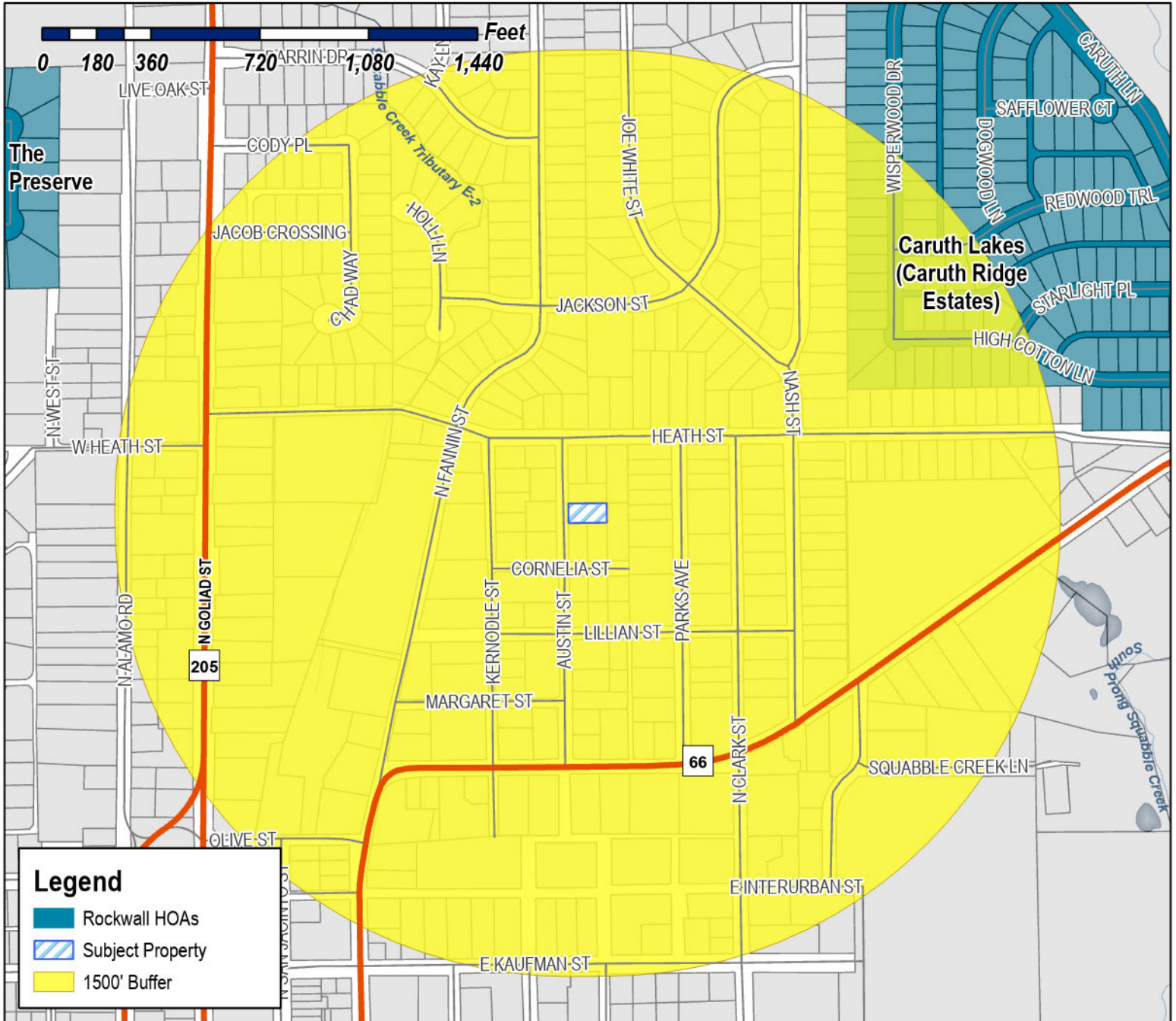




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Case Number: Z2024-044
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Single-Family 7 District (SF-7)
Case Address: 806 Austin St

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, September 18, 2024 10:38 AM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2024-044]
Attachments: Public Notice (P&Z) (09.16.2024).pdf; HOA Map (09.13.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, September 20, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 15, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 21, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-044: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a *Specific Use Permit (SUP)* for a *Short-Term Rental* on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

Thank you,

Melanie Zavala

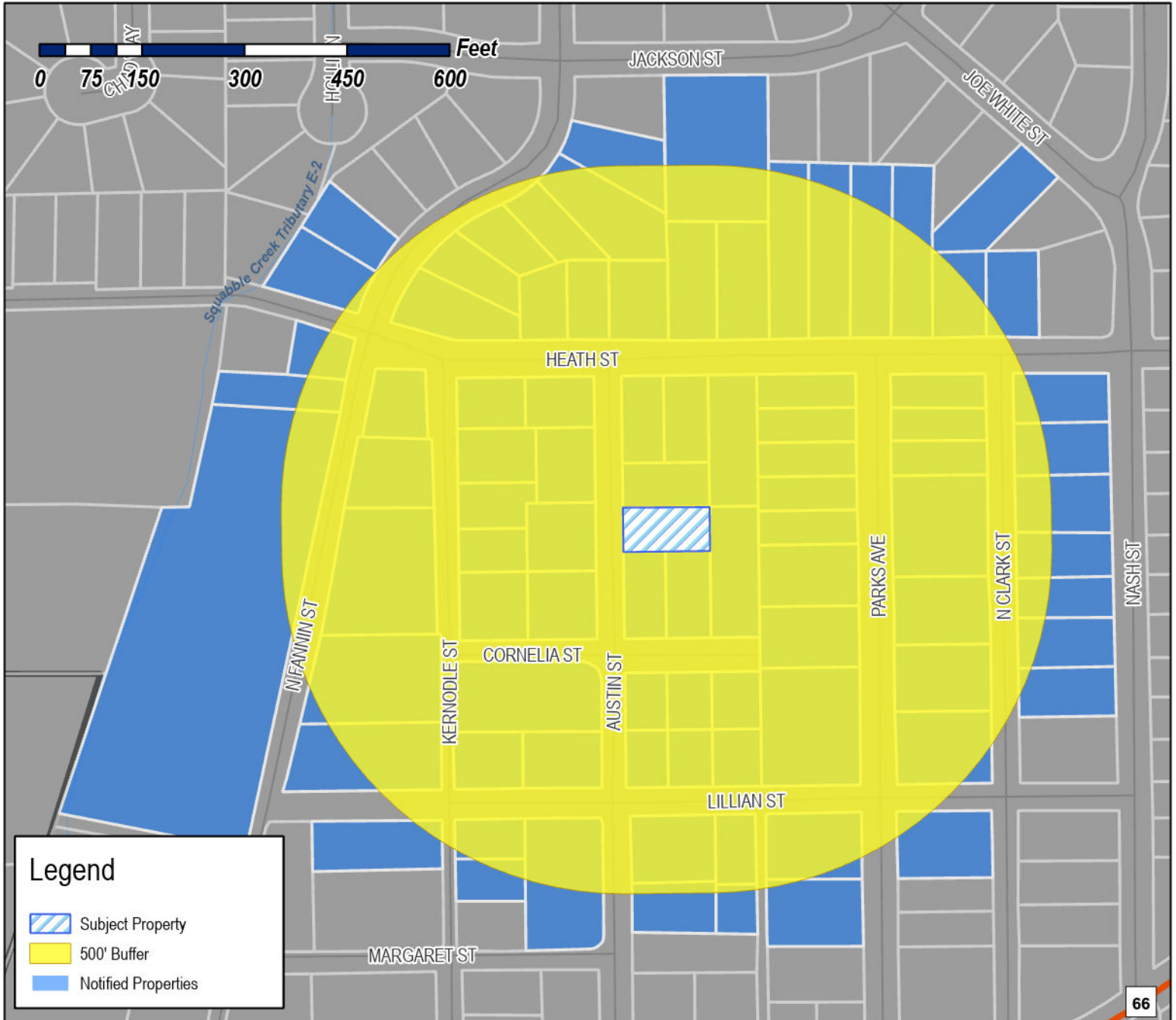
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-044
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Single-Family 7 District (SF-7)
Case Address: 806 Austin St

Date Saved: 9/13/2024

For Questions on this Case Call: (972) 771-7745



SUCH ANNIE ROSE
1022 TEXAN TRAIL
GRAPEVINE, TX 76051

RESIDENT
103 JOE WHITE
ROCKWALL, TX 75087

PRYOR MICA
1036 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CONRAD CCC DEVELOPMENT LLC
1215 THOMASVILLE COURT
GARLAND, TX 75044

CELINE ESTATES INC
149 BRENTWOOD DRIVE
HEATH, TX 75032

FINK BEVERLY A & ROYCE G
17111 255TH AVE
SPIRIT LAKE, IA 51360

CELINE ESTATES INC
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

VANILLA BEAN PROPERTIES SERIES 2 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 7 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 8 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 6 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 3 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 10 LLC
2 MANOR COURT
HEATH, TX 75032

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

THOMAS ANGELA
2200 KINGS PASS
HEATH, TX 75032

PARK STUFF SERIES LLC
2301 LAFAYETTE DR
HEATH, TX 75032

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

ZYLKA PROPERTIES LLC
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

ZYLKA PROPERTIES LLC
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

STARK ROBERT S & TINA J
3090 N GOLIAD ST SUITE 102 #213
ROCKWALL, TX 75087

CLARK APRIL N
313 NAKOMA DRIVE
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
3400 N CENTRAL EXPY #110
RICHARDSON, TX 75080

TIPPING VIVIAN E AND
401 EAST HEATH STREET
ROCKWALL, TX 75087

DOLLINS ROBIN KAY AND GEORGE OEN
403 E HEATH
ROCKWALL, TX 75087

RESIDENT
405 E HEATH
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
501 LILLIAN
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
503 LILLIAN
ROCKWALL, TX 75087

RESIDENT
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
505 LILLIAN
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

MOJICA JOSE L
505 CORNELIA ST
ROCKWALL, TX 75087

RESIDENT
505 E HEATH
ROCKWALL, TX 75087

RESIDENT
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

YOUNG MOLLIE AND JAY CHANCE
507 PARKS AVENUE
ROCKWALL, TX 75087

RESIDENT
509 E HEATH
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

ALLEGRETTO RICHARD JR AND SARAH ANN
510 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
511 E HEATH
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY
513 E HEATH ST
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

RESIDENT
601 E HEATH
ROCKWALL, TX 75087

EICH CHRIS AND ELENA
601 PARKS AVENUE
ROCKWALL, TX 75087

RESIDENT
602 AUSTIN
ROCKWALL, TX 75087

MURPHY MICHAEL
602 PARKS AVE
ROCKWALL, TX 75087

LOFLAND JANA J
603 AUSTIN ST
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

FUNK TED FREDRICK AND REBECCA LYNN
604 KERNODLE
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
605 E HEATH
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
606 KERNODLE
ROCKWALL, TX 75087

RESIDENT
606 PARKS
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

RESIDENT
607 NASH
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
607 KERNODLE ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

BELANGER CORKY
616 MONTROSE DR
ROCKWALL, TX 75087

RESIDENT
701 NASH
ROCKWALL, TX 75087

MOONEY DAVID AARON
701 AUSTIN ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
702 KERNODLE
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
703 PARKS
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

2021 B L GRAVES REVOCABLE TRUST
705 KERNODLE ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
705 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
707 NASH
ROCKWALL, TX 75087

RESIDENT
707 PARKS
ROCKWALL, TX 75087

CLOVER CHRISTIAN & SCOTT CLOVER & RENEE
CLOVER
708 PARKS AVE
ROCKWALL, TX 75087

MCDOWELL KIMBERLEE & KIRBY
709 NASH ST
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

SILVA REBECA BRIANA &
JAVIER SILVA
711 PARKS AVENUE
ROCKWALL, TX 75087

FLANAGAN RONNY LYNN JR AND JULIE
MICHELLE
714 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
801 AUSTIN
ROCKWALL, TX 75087

RESIDENT
802 KERNODLE
ROCKWALL, TX 75087

COLWILL DIANA MARIA AND JESSE DAVID
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

EMBRY ASHLEY
803 MIRAMAR DR
ROCKWALL, TX 75087

RESIDENT
804 KERNODLE
ROCKWALL, TX 75087

RUSTY ENTERPRISES LLC
804 WILLIAMS STREET
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
806 KERNODLE
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
808 AUSTIN
ROCKWALL, TX 75087

RESIDENT
808 KERNODLE
ROCKWALL, TX 75087

RESIDENT
809 AUSTIN
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WIEHE JOHN THOMAS
900 N FANNIN ST
ROCKWALL, TX 75087

CROWDER GERALDINE
901 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
902 N FANNIN
ROCKWALL, TX 75087

HEMPHILL REBECCA AND TODD
903 NORTH FANNIN STREET
ROCKWALL, TX 75087

HALL WYNNE &
904 N FANNIN ST
ROCKWALL, TX 75087

WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
908 N FANNIN
ROCKWALL, TX 75087

HAGENY MARY
910 N FANNIN STREET
ROCKWALL, TX 75087

601 E. HEATH, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

72024-044

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Tiffanie

Last Name *

Bushnell

Address *

805 Kernodle St.

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-044: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-044: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

We don't mind short term rentals. We meet new friends and stay in touch.

Name: Brad E. Ginger Johnson
Address: 803 Kennode St.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2024-044: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

385 S. GOLIAD ST
RKW 75089

MR. RYAN MILLER, JRKW P&Z

No! MR. MILLER - WE DON'T WANT
NOISY HOTELS IN OUR SINGLE
FAMILY
NEIGHBORHOODS!
P.S. WE WILL WATCH YOUR PROCEEDINGS.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

DAVID DOROTIK
509 PARKS AVE
ROCKWALL, TX 75087
972 771 3158

Ross, Bethany

From: Vivian Tipping <vivian.tipping@gmail.com>
Sent: Tuesday, October 8, 2024 8:43 AM
To: Ross, Bethany
Subject: Case Z2024-044

I am against this because it can bring in crime and devalues property. Vivian Tipping 401 E Heath St, Rockwall, TX 75087

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Ross, Bethany

From: Joe Zylka <jz@goldenrodcompanies.com>
Sent: Thursday, October 3, 2024 8:27 AM
To: Planning
Subject: Z2024-044

Good morning,

My name is Joe Zylka and I own a couple of properties in the area. We have owned them for 15-30 years as long-term rental properties. Including 503 and 505 E. Heath St.

I am in opposition to the SUP. Short term rentals bring down the property conditions in my opinion for current residents. I have dealt with this in my own neighborhood in Rockwall, where the HOA finally passed an amendment to prohibit short term leasing.

I am unable to attend the public hearing, but please let me know if you have any questions or if you need further input from me.

Thanks

Joe Zylka, CPM®

CEO, Goldenrod Property Services

200 Crescent Ct Suite 1425

The Crescent, Dallas, TX 75201

214.476.1215 | jz@goldenrodcompanies.com



Disclaimer: I am sending this at a time convenient for me. If you are receiving this after normal business hours, please make sure you reply at a time that is convenient for you.



CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-044: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR OUT OF COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

806 AUSTIN ST. ROCKWALL, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

SF 7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

SHORT TERM RENTAL

ACREAGE

LOTS (CURRENT)

LOTS (PROPOSED)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

APPLICANT

CONTACT PERSON

Trenton Austin

CONTACT PERSON

ADDRESS

1340 Blanchard Hwy

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-922-5267

PHONE

E-MAIL

taustin@stplumbingservices.com

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Trenton Austin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF September, 2024

OWNER'S SIGNATURE

Trenton Austin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Tara Riggs





SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

RECEIVED BY:

T. Buehler

DATE RECEIVED:

9/16/2024

STR PERMIT NO.

STR2024-4890

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- TA I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- TA I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- TA I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- TA I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- TA I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and — as the owner of the subject property — it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

New Registration | Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address	806 Austin Street	Zoning	
Subdivision		Lot	
General Location	Downtown Rockwall	Block	

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex — or portion thereof — in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex — or a portion thereof — in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit — or portion thereof — on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)**. An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) — or a portion thereof — in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Trenton Austin	Phone	972-922-5267
Mailing Address	1340 Meandering Way	City	Rockwall
Email		State	TX
		Zip Code	75087

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name		Phone	
Mailing Address		City	
Email		State	
		Zip Code	



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures – one (1) per each façade of a structure – and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* – including online or on a proprietary website, application, or other technology – will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste – bagged or otherwise – placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024

RESPONSIBLE PARTY'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



PROPERTY OWNER'S CERTIFICATION

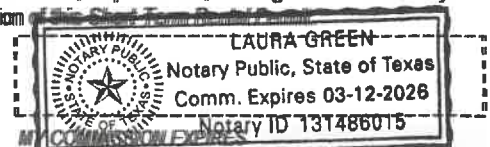
I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024

PROPERTY OWNER'S SIGNATURE

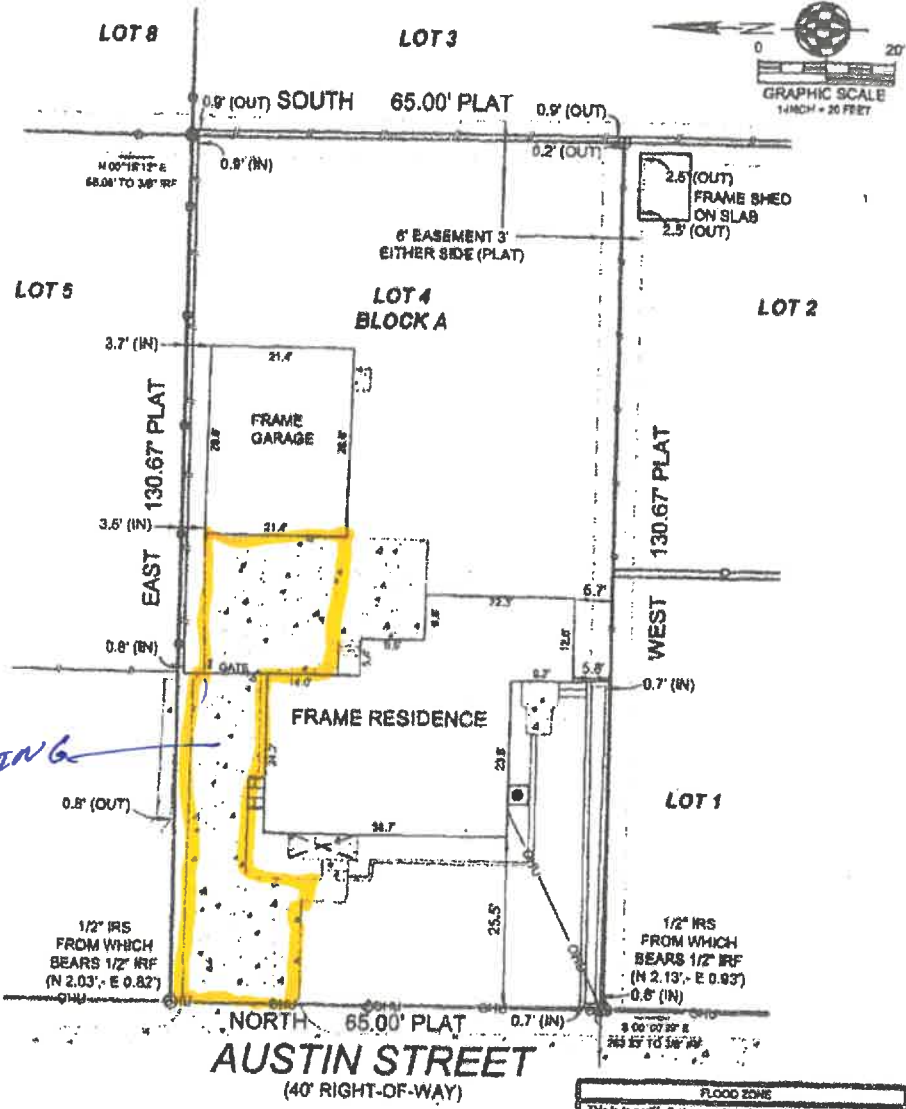
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



SURVEY PLAT: 806 AUSTIN STREET

Being Lot 4, in Block A, in the REVISION OF LOTS 15 AND 16, FARMERS AND MERCHANTS NATIONAL BANK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet 49, Slide 526, of the Plat Records of Rockwall County, Texas.



PARKING

FLOOD ZONE
 This is to certify that no portion of the subject property shown herein lies within the 100 Year Flood Hazard Area as shown on the Flood Insurance Rate Map, Community Panel No. 48097C 0040L, dated 09-25-2008. The property is located in Zone "C".

LEGEND

16" IR FENEST	X-POUND	FILE BOX	UTILITY POLE	OVERHEAD UTILITY LINE	CONC. NUMBER	CONCRETE
18" IR NET	X-BOX	CABLE BOX	WATER METER	IRON W/HP ANCHOR	RECESSED STONE RET. WALL	GRAVEL
24" IR FOUND	SAN. SEW. IN	ELECTRIC BOX	DRS. METER	BARBED WIRE FENCE	BUILDING LINE	BRICK
30" IR FOUND	IRRIGATION VALVE	BRICK COLUMN	A.D. PAD	IRON FENCE	EASEMENT	STONE
36" IR FOUND	WATER VALVE	STONE COLUMN	TRANS. BOX	CHARLON FENCE	BOUNDARY	WOOD DECK
42" IR FOUND	FRS HYDRANT	STONE DRAIN MKL	POOL EQUIP.	WOOD FENCE	HIGH BANK LINE	BUILDING WALL
48" IR FOUND	LIGHT POLE	SAN. SEW. DCL		ASPHALT	TURNED AREA	TILE

I, John S. Turner, Registered Professional Land Surveyor of the State of Texas, do certify that this Survey Plat is a true, correct and accurate representation of the project shown herein as authorized by survey or the ground under my supervision. The lines and dimensions of said property being indicated by this plat. The improvements are within the boundaries of the property lines as the distances indicated and there are no visible and apparent encroachments, encroachments, utilities or projections, except as shown. This survey meets or exceeds the minimum standards required by the Texas Board of Professional Land Surveying.

This survey was performed exclusively for the parties in connection with the G. F. Harbitt stream terrace and is accurate for a single use. This survey benefits the property of the Surveyor. Unauthorized reuse is not permitted without the expressed written permission of the Surveyor. This survey is an original work protected by United States Copyright Law and is not to be copied, reproduced, or otherwise used in any way without the express written consent of the Surveyor. All rights reserved. Do not make a legal copy.

John S. Turner
 JOHN S. TURNER RPLS 6310



A&W SURVEYORS, INC.
 Professional Land Surveyors
 TEXAS REGISTRATION NO. 100174-00
 P.O. BOX 670029, MESQUITE, TX 75187
 PHONE: (972) 681-4875 FAX: (972) 681-4854
 WWW.AWSURVEY.COM

JOB NO. 14-1472 DRAWN BY: GGP
 DATE: 06-20-2014 G.F. NO.: 2023-1321 DGRU
 CERTIFY TO: BLAIR LEAKE TITLE CO. REVISION TITLE

A professional company operating in your best interest



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

9/9/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement.

PRODUCER: CORE Insurance Group, 2570 River Park Plz Ste 100, Fort Worth, TX 76116. CONTACT NAME: Norma Ayala, E-MAIL ADDRESS: norma@coreins.us. INSURER(S) AFFORDING COVERAGE: Northfield Insurance Company, NAIC #: 27987.

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES.

Table with columns: INSR LTR, TYPE OF INSURANCE, ADDL INSD, SUBR WVD, POLICY NUMBER, POLICY EFF (MM/DD/YYYY), POLICY EXP (MM/DD/YYYY), LIMITS. Includes Commercial General Liability, Automobile Liability, Umbrella Liab, and Workers Compensation.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required) Short Term Rental for 806 Austin St Rockwall Tx

CERTIFICATE HOLDER: Insured's Purposes Only. CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE: [Signature]













CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NON-OWNER-OCCUPIED SHORT-TERM RENTAL* ON A 0.1950-ACRE PARCEL OF LAND IDENTIFIED AS LOT 4, BLOCK 15A, F&M ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Trenton Austin for the approval of a *Specific Use Permit (SUP)* for a *Non-Owner Occupied Short-Term Rental* on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Non-Owner-Occupied Short-Term Rental* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 03.01, *General Residential Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Article 02, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances -- as heretofore amended and as may be amended in the future --*, and with the following conditions:

Z2024-044: SUP for a STR
at 806 Austin Street

Ordinance No. 24-XX; SUP # S-3XX

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Non-Owner-Occupied Short-Term Rental* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Subject Property* shall conform to the information provided within the *Short-Term Rental Permit Application* depicted in *Exhibits 'B'* of this ordinance.
- (2) After the issuance of a *Short-Term Rental Permit and Registration* by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Short-Term Rental Permit and Registration*, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF NOVEMBER, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: October 21, 2024

2nd Reading: November 4, 2024

Exhibit 'A' Legal Description

Address: 806 Austin Street

Legal Description: Lot 4, Block 15A, F&M Addition

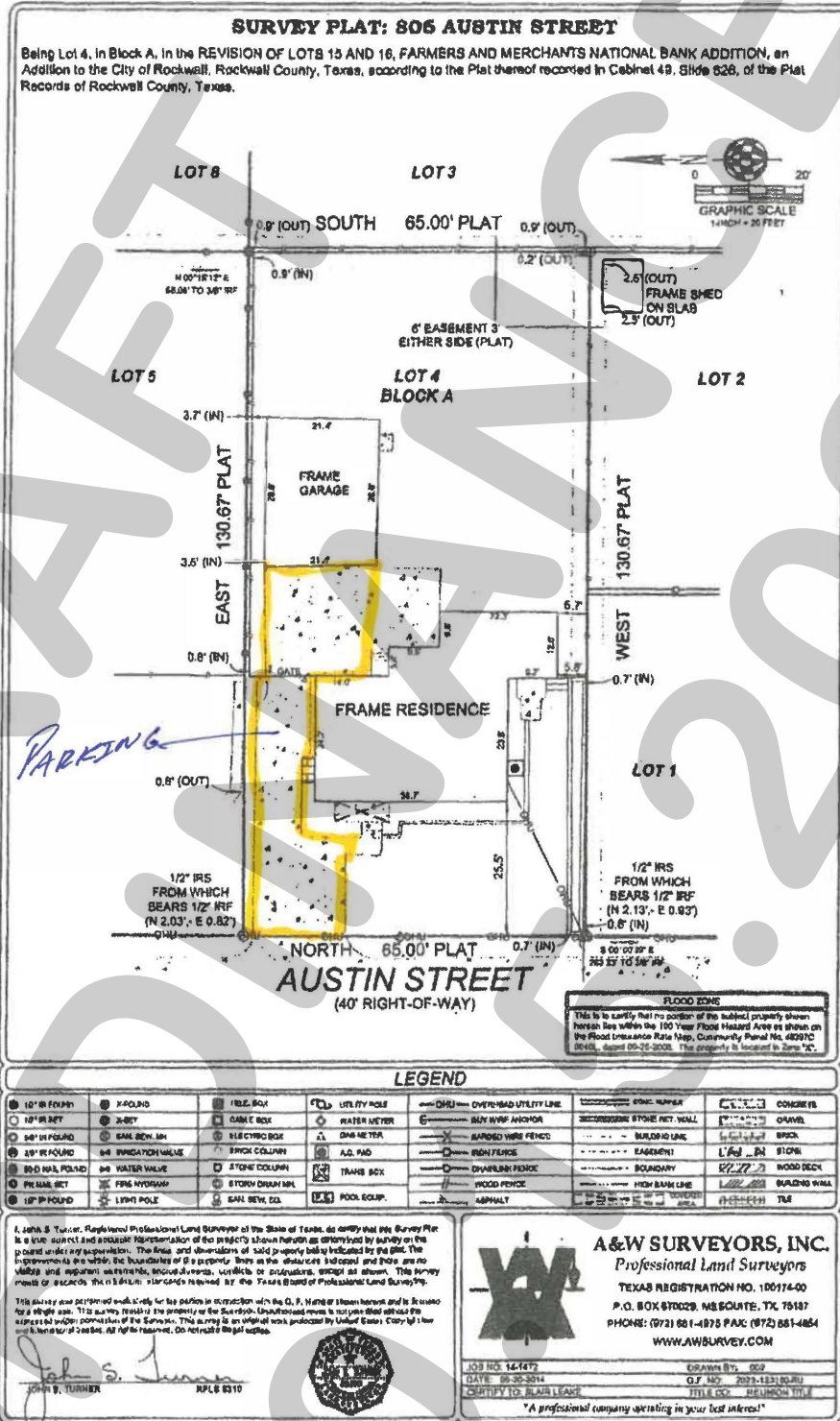


Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
RECEIVED BY: T. Buehler
DATE RECEIVED: 9/16/2024
STR PERMIT NO. STR2024-4890

ACKNOWLEDGEMENTS BY PROPERTY OWNER (PLEASE INITIAL BY EACH STATEMENT)

- TA I acknowledge that a Short-Term Rental Permit granted by the City of Rockwall does not supersede any property specific restrictions against Short-Term Rentals that may exist under law, agreement, lease, covenant, or deed restriction.
- TA I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my Short-Term Rental Permit will be revoked and that I will not be eligible to apply for a new Short-Term Rental Permit for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- TA I acknowledge that a Short-Term Rental Permit and any non-conforming rights associated with a Short-Term Rental Permit are non-transferable to another property owner or operator, or address or location.
- TA I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, Rental Housing, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my Short-Term Rental Permit.
- TA I acknowledge that a Short-Term Rental Permit is valid for a period of three (3) years, and – as the owner of the subject property – it is my responsibility to apply for a renewal 30-days prior to the expiration of my Short-Term Rental Permit. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

REGISTRATION TYPE

- New Registration | Renewal of an Existing Registration
- Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION (PLEASE PRINT)

Address 806 Austin Street Zoning
Subdivision Lot Block
General Location Downtown Rockwall

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex – or portion thereof – in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex – or a portion thereof – in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit – or portion thereof – on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM). An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) – or a portion thereof – in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION (PLEASE PRINT)

Name Trenton Austin Phone 972-922-5267
Mailing Address 1340 Meandering Way City Rockwall State TX Zip Code 75087
Email

RESPONSIBLE PARTY (PLEASE PRINT)

Please note that a Responsible Party is required for all Short-Term Rental Permit applications. A Responsible Party is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The Responsible Party must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

- Same as Property Owner

Name Phone
Mailing Address City State Zip Code
Email

SHORT-TERM RENTAL APPLICATION AND REGISTRATION - CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
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- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
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- TEMPORARY STRUCTURES.** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
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- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September 2024

RESPONSIBLE PARTY'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



PROPERTY OWNER'S CERTIFICATION

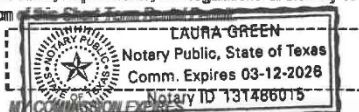
I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September 2024

PROPERTY OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • (972) 771-7709

Exhibit 'C'
Short-Term Rental Photographs





CITY OF ROCKWALL

PLANNING AND ZONING MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 15, 2024
APPLICANT: Inocencio Barron
SUBJECT: Z2024-045; *Specific Use Permit (SUP) for Residential Infill at 178 Lynne Drive*

On October 7, 2024, the applicant – *Inocencio Barron* -- sent an email to staff requesting to withdraw *Case No. Z2024-045* stating that they require more time to prepare new building elevations and residential plot plan. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), “(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body.” This means that the Planning and Zoning Commission will need to vote on the applicant’s request to withdraw. Should the Planning and Zoning Commission have any questions, staff will be available at the October 15, 2024 meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 15, 2024
APPLICANT: Carl and Wendy Petersen
CASE NUMBER: Z2024-046; *Specific Use Permit (SUP) for a Short-Term Rental at 108 Reliance Court*

SUMMARY

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a *Short-Term Rental* on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. This Planned Development District Ordinance has been amended 20 times (*i.e. Ordinance No's 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, 21-38, & 23-40*), with the most recent case (*Case No. Z2023-029*) being in 2023 which consolidated the ordinances. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision was later approved on July 2, 1985. This established the subject property as Lots 25 & 26, Block A, Chandler's Landing, Phase 20 Addition. On January 6, 2005, the City Council approved a replat (*Case No. P2005-064*) that combined the two (2) lots into one (1) lot, being Lot 25-R, Block A, Chandler's Landing #20 Addition. The subject property remains zoned Planned Development District 8 (PD-8) and has remained vacant since it was originally platted.

PURPOSE

The applicants -- *Carl and Wendy Petersen* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of allowing a *Short-Term Rental (Non-Owner-Occupied Single-Family Home)* on the subject property, which is located within 1,000-feet of an existing *Short-Term Rental (Non-Owner-Occupied Single-Family Home)*.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 108 Reliance Court. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are Phases 1 & 2 of the Signal Ridge subdivision. Phase 2 of the Signal Ridge subdivision consists of 57 townhomes on 3.98-acres, and Phase 1 of the Signal Ridge subdivision consists 37 townhomes on 4.39-acres. Following this is Portofino Circle, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Reliance Court, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) parcels of land (*i.e. Lots 18-23, Block A, Chandler's Landing #20 Addition*) developed with single-family homes, zoned Planned Development District 8 (PD-8) for single-family land uses. Following this is Mischief Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are eight (8) parcels of land (i.e. Lots 27-29, 32-34, & 52-53, Block A, Chandler's Landing #20 Addition), one (1) property is vacant (i.e. 104 Reliance Court) and remaining are developed with single-family homes. Beyond this is Mayflower Court, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are several properties that are developed within single-family homes. All of these properties are zoned Planned Development District 8 (PD-8) for single-family land uses.

West: Directly west of the subject property are Phases 2, 3, & 4 of the Signal Ridge subdivision. Phase 2 of the Signal Ridge subdivision consists of 57 townhomes on 3.98-acres, Phase 3 of the Signal Ridge subdivision consists 113 townhomes on 8.88-acres, and Phase 4 of the Signal Ridge subdivision consists of 125 townhomes on 6.78-acres. All of these phases of the Signal Ridge Subdivision are zoned Planned Development District 15 (PD-15) for single-family condominium land uses.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

On April 1, 2024, the City Council approved *Ordinance No. 24-10*, which amended both the Unified Development Code (UDC) and the Municipal Code of Ordinances for the purpose of creating zoning and regulatory restrictions for *Short-Term Rentals*. Specifically, this ordinance: [1] amended the *Permissible Land Use Charts* to create a *Short-Term Rental* land use, [2] created *Conditional Land Use Standards* for each type of *Short-Term Rental* (i.e. *Owner Occupied* and *Non-Owner Occupied*), [3] created a *Short-Term Rental Permit and Registration Program*, [4] created *General Standards for Short-Term Rentals*, [5] established a minimum general commercial insurance coverage requirement, [6] established enforcement and penalty procedures, [7] required a responsible party as part of the permit and registration, [8] created an appeal process, and [9] established non-conforming rights for properties that were in operation prior to the adoption of the ordinance. As part of this process, staff sent out notices to all existing *Short-Term Rentals* in the City of Rockwall, and established a *grace period* from April 1, 2024 to July 1, 2024 to allow existing *Short-Term Rentals* the ability to submit for a *Short-Term Rental Permit and Registration*. During this *grace period* existing *Short-Term Rentals* were exempted from the proximity requirements established by the zoning ordinance.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Short-Term Rental* is defined as "... a residential dwelling unit, apartment, condominium, or *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant. In practice, a *Short-Term Rental* is considered to be a residential land use, and is not considered to be a *Limited-Service Hotel, Full-Service Hotel, Residence Hotel, Motel, or Bed and Breakfast* as defined in this Unified Development Code (UDC)". This definition section goes on to define a *Non-Owner Occupied Short-Term Rental* as "(a) single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property)." According to the *Permissible*

Use Charts contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Non-Owner-Occupied Short-Term Rental* is permitted in a Single-Family 10 (SF-10) District with the following conditions:

- (a) *Short-Term Rentals* that are *Non-Owner-Occupied* shall not be located within 1,000-feet of another *Short-Term Rental* that is *Non-Owner Occupied*; however, *Short-Term Rentals* that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, *Non-Conforming Short-Term Rentals*, of this Article, and [2] received a valid permit and registration -- in accordance with Article 2, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances* -- prior to July 1, 2024 shall be exempted from the proximity requirements.
- (b) *Short-Term Rentals* that are *Non-Owner-Occupied* that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a *Specific Use Permit (SUP)*. In considering a *Specific Use Permit (SUP)* for a *Short-Term Rental* that is *Non-Owner-Occupied* the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing *Short-Term Rentals* on the adjacent residential properties and their occupants.
- (c) The *Short-Term Rental* shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. *Banquet Facility/Event Hall* which includes *meeting halls* and *wedding venues*) as stipulated by the Permissible Use Charts.
- (d) In order to establish and operate a *Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances*.

In this case, the applicant for the requested a *Non-Owner-Occupied Short-Term Rental (STR)* at 108 Reliance Court, which was not in operation prior to the adoption of *Ordinance No. 24-10*. Given this, the applicant applied for the *Short-Term Rental* permit on July 29, 2024. During staff review it was determined that there was already a permitted *Non-Owner-Occupied Short-Term Rental* within 950-feet of the subject property, and that the applicant's request failed to meet the proximity requirements to allow another *Non-Owner-Occupied Short-Term Rental*. Based on this, the applicant was notified that a *Specific Use Permit (SUP)* would need to be requested before the *Short-Term Rental Permit* could be submitted and issued. In response to this, the applicant has provided the necessary permit application and photos of the property, which are included in the attached packet.

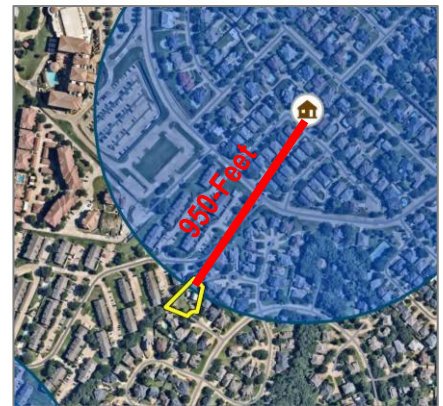


FIGURE 1: SUBJECT PROPERTY PROXIMITY TO EXISTING NON-OWNER-OCCUPIED SHORT-TERM RENTAL

STAFF'S ANALYSIS

When evaluating the *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental*, the Planning and Zoning Commission and City Council should assess the size, location, and impact of both the proposed and existing *Short-Term Rentals* on nearby residential properties and their occupants. This proposed *Short-Term Rental* is located 950-feet from an existing and permitted *Non-Owner-Occupied Short-Term Rental* (i.e. 2885 Newport Drive) [Permit No. STR2024-3781] that accommodates up to ten (10) guests with five (5) bedrooms and three and a half (3.5) bathrooms. The proposed *Short-Term Rental* has four (4) bedrooms and two and half (2.5) bathrooms. This request for a *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental (STR)* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 18, 2024, staff mailed 254 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Chandler's Landing, Signal Ridge, Signal Ridge Phase 4, Water's Edge, and Lago Vista Homeowners Associations (HOAs), which are the only homeowners associations or neighborhood organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the

time this report was drafted, staff had received two (2) notices back in favor and 11 notices back in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Non-Owner Occupied Short-Term Rental (STR), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (1) The *Subject Property* shall conform to the information provided within the Short-Term Rental Permit Application depicted in *Exhibits 'B'* of this ordinance; and,
 - (2) All unpermitted improvements on the *Subject Property* must be permitted or removed before the issuance of a *Short-Term Rental Permit*; and,
 - (3) After the issuance of a *Short-Term Rental Permit and Registration* by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).
- (2) Upon obtaining a *Short-Term Rental Permit and Registration*, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 108 Reliance Court, Rockwall, TX 75032

SUBDIVISION Chandlers Landing

LOT

25-R

BLOCK

A

GENERAL LOCATION from the Chandlers main entrance, turn right OR left and go exactly 1 mile to Reliance Court

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING residential

CURRENT USE residential

PROPOSED ZONING short-term rental

PROPOSED USE short-term rental

ACREAGE .411 acres

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Carl Sanford (Sandy) Petersen and Wendy Petersen

APPLICANT

CONTACT PERSON Wendy Petersen

CONTACT PERSON

ADDRESS 2880 Chippewa Way

ADDRESS

CITY, STATE & ZIP Provo, UT 84604-4349

CITY, STATE & ZIP

PHONE 214-675-4142

PHONE

E-MAIL wendyhp55@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Wendy Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6th DAY OF September 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6 DAY OF September 2024

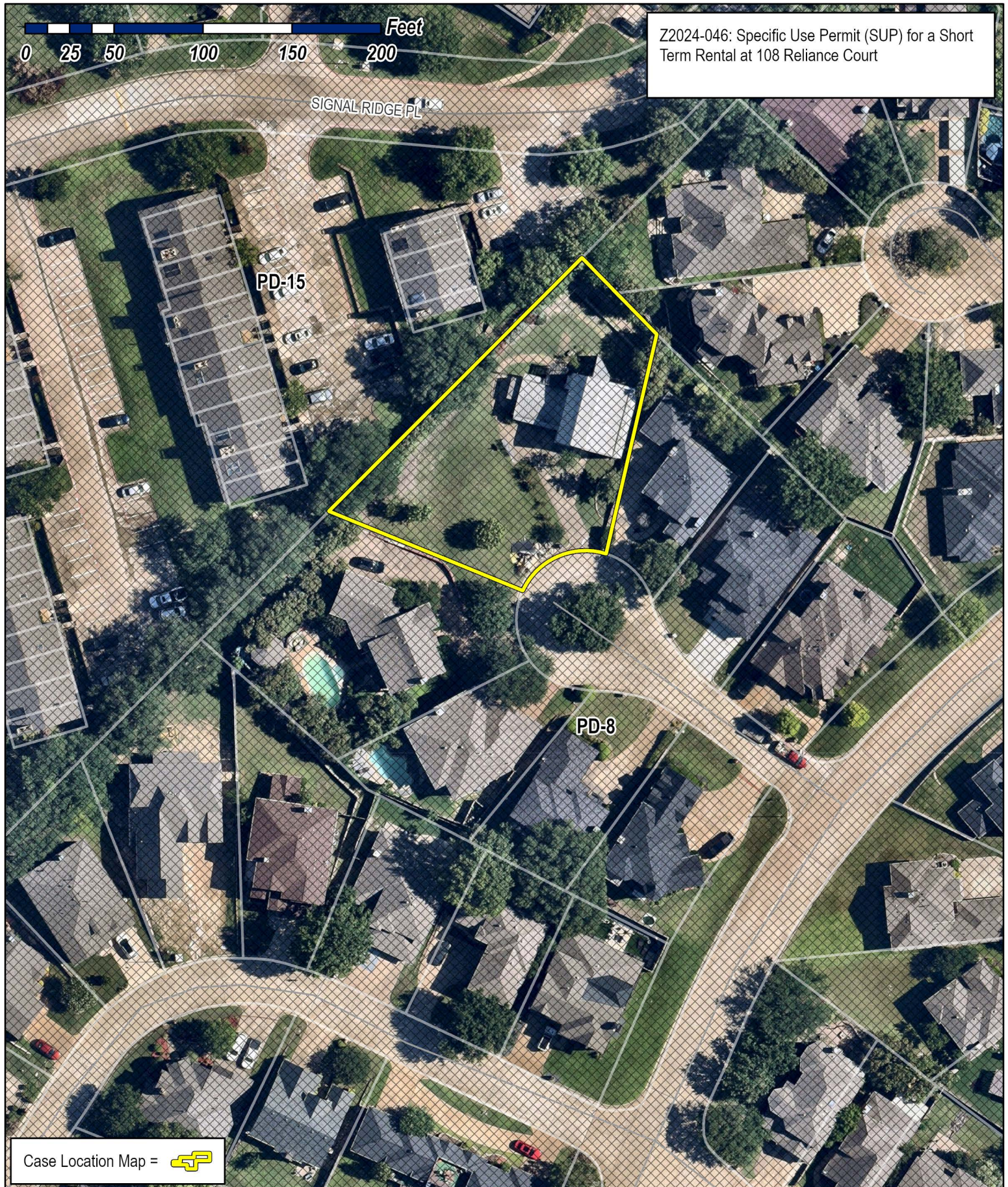
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF Utah



MY COMMISSION EXPIRES

Oct. 23, 2027



Z2024-046: Specific Use Permit (SUP) for a Short Term Rental at 108 Reliance Court

0 25 50 100 150 200 Feet

SIGNAL RIDGE PL

PD-15

PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

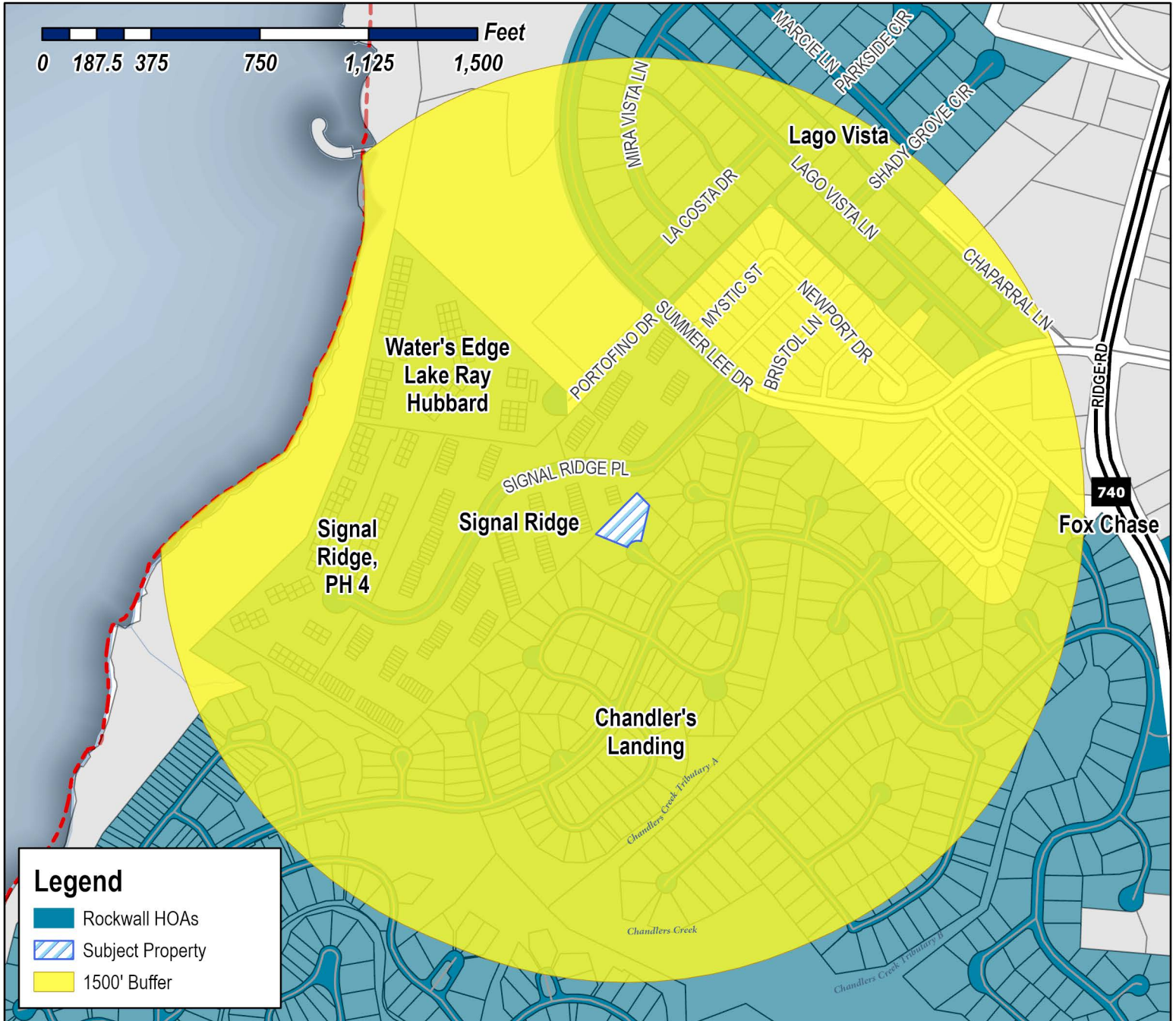




City of Rockwall

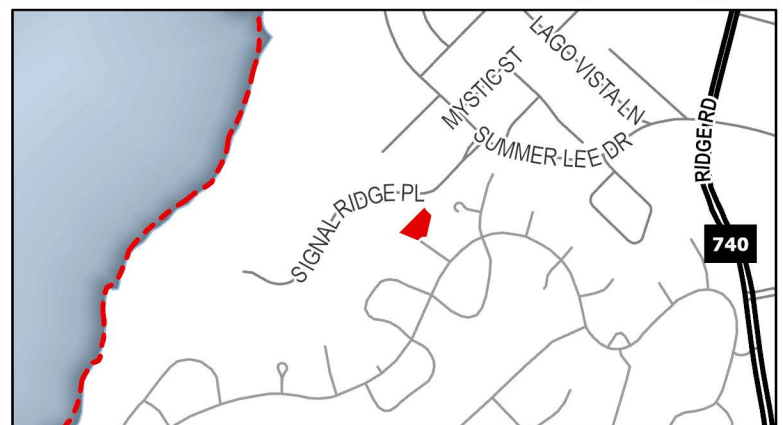
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Case Number: Z2024-046
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 108 Reliance Court

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-046]
Date: Wednesday, September 18, 2024 10:36:36 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(09.13.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-046: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County

Thank you,

Melanie Zavala

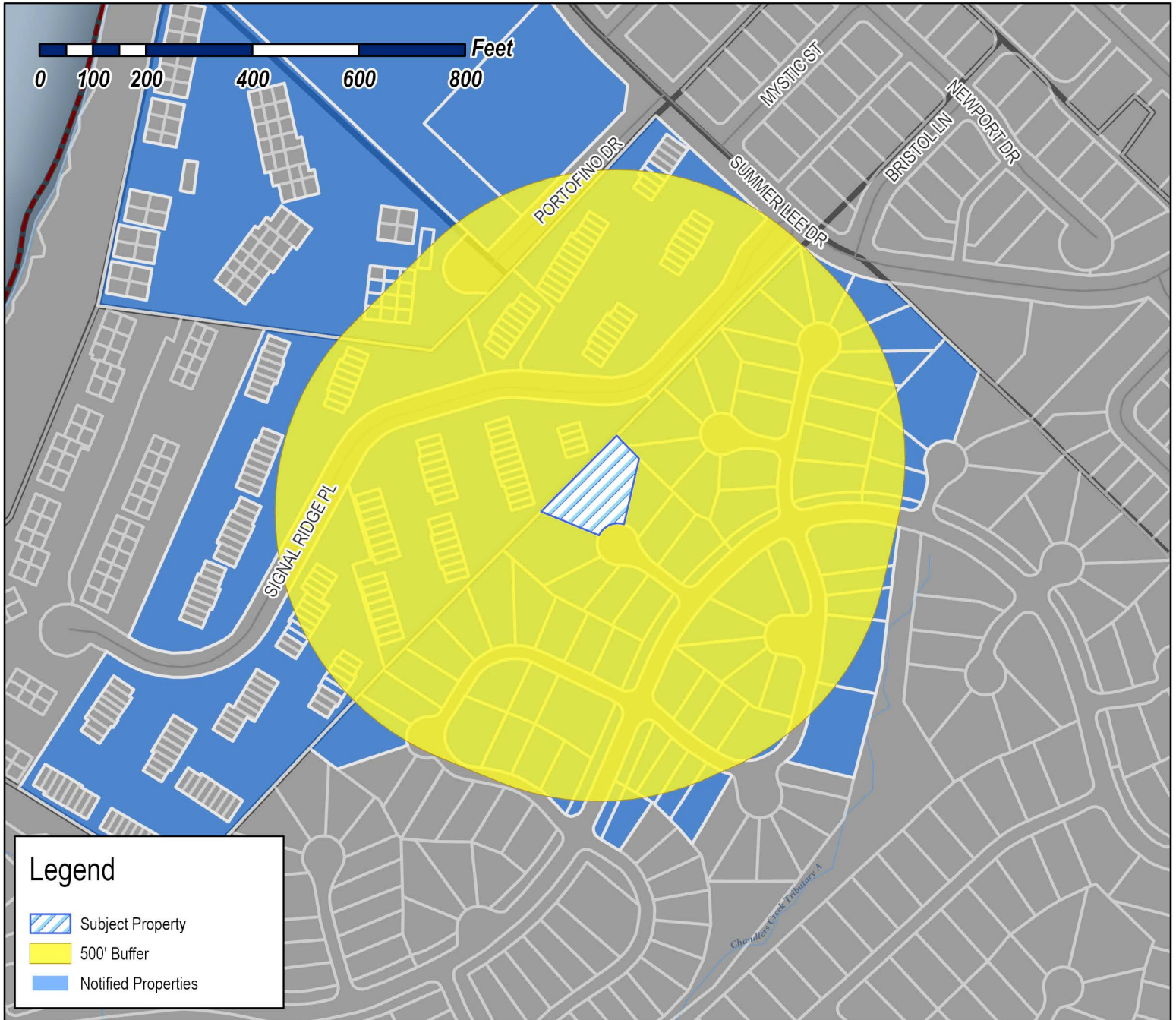
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568






City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-046
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 108 Reliance Court

Date Saved: 9/13/2024

For Questions on this Case Call: (972) 771-7745



BELOTE GARLAND III
1001 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SHAH ZAHRA
1003 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

PEREZ FREDDIE
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESENDIZ FERNANDO JR AND TIFFANY ARAI
ARAGON
1006 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HILL KENNETH JAMES AND BETH ANNE
1006 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LANGSTONFRIEDA KARLEN
101 MAYFLOWER CT
ROCKWALL, TX 75032

SWEET CHASE AND SADIE
101 RELIANCE CT
ROCKWALL, TX 75032

NASH SYDNEY
101 VALKYRIE PL
ROCKWALL, TX 75032

MCAFFEE CANDACE
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHARLES CREIG
1014 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DEWET WAYNE JOHN
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HARRELL STEVEN R AND ROBERTA J
102 MAYFLOWER CT
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIBBS STEPHANIE L
1022 SIGNAL RIDGE PLACE
ROCKWALL, TX 75087

RESIDENT
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JANAK KEVIN WAYNE
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CANCIOBELLO YESENIA AND
BILLY DREW MCMURTRE
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOSEPH JACOB
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GLEAVES THOMAS J &
LACY N WENDT
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
103 MAYFLOWER CT
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

AUSTIN CHRISTI LYNN
103 RELIANCE COURT
ROCKWALL, TX 75032

HALAMA STEFAN & ANN
103 VALKYRIE PL
ROCKWALL, TX 75032

DUKE HEATHER
1030 SIGNAL RIDGE PL UNIT 1030
ROCKWALL, TX 75032

LOPEZ LUISA
1031 SIGNAL RIDGE PLACE UNIT 1031
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

RESIDENT
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CONNER JANICE S
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
104 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
104 RELIANCE CT
ROCKWALL, TX 75032

SMITH BRYAN
104 MAYFLOWER CT
ROCKWALL, TX 75032

RESIDENT
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CATHARINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FAULK ELIZABETH
1045 SIGNAL RIDGE PL # 2-B
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAJDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

O'CONNOR MICHAEL AND HEATHER DAWN
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
ROBERT S AND DOLORES I JOHNSON - TRUSTEES
105 MISCHIEF LANE
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

RESIDENT
106 MAYFLOWER CT
ROCKWALL, TX 75032

RESIDENT
106 MISCHIEF LN
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER
107 MAYFLOWER CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D
107 VALKYRIE PL
ROCKWALL, TX 75032

SLATER THOMAS EVERETT
108 MAYFLOWER CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

LYONS ELIZABETH
109 MAYFLOWER COURT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
110 MISCHIEF LN
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J
110 MAYFLOWER CT
ROCKWALL, TX 75032

RESIDENT
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1102 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1103 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

RESIDENT
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNS ETHAN
1108 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RUBIO CONNIE L
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C
111 MAYFLOWER CT
ROCKWALL, TX 75032

CERVANTES LESLEY PATINO
1110 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN
1111 VISTA GRANDE ROAD
EL CAJON, CA 92019

RESIDENT
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LEMIEUX RICHARD
1114 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARRETSON CLAY
1116 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1117 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SHERMAN THREASA L AND DOYLE
112 MAYFLOWER COURT
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

CASTRO CRISTINA
113 MAYFLOWER CT
ROCKWALL, TX 75032

FAIRCHILD JOINT REVOCABLE LIVING TRUST
TONI A FAIRCHILD- TRUSTEE
114 MAYFLOWER CT
ROCKWALL, TX 75032

RASOOL SHAIKH AL HADI AND
FARHANA ZAFAR
114 MISCHIEF LANE
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
PLUTUS21 DEVELOPMENT
11455 NEWKIRK ST STE 1405
DALLAS, TX 75229

JURCA JACOB S AND JACLYN J
115 MAYFLOWER CT
ROCKWALL, TX 75032

BRACE JUDE
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN
122 PURITAN COURT
ROCKWALL, TX 75032

POTISKA PATRICIA AND ANDREA
124 PURITAN CT
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HAYES RICHARD
128 PURITAN CT
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

MORRIS NICOLE E
13724 CORDARY AVE UNIT 7
HAWTHORNE, CA 90250

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

RESIDENT
1501 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WEST VICTORIA FELICIA
1502 SIGNAL RIDGE
ROCKWALL, TX 75032

PANNELL TIMOTHY WAYNE
1503 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1504 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN
1505 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1506 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1508 SIGNAL RIDGE PL
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

JOHNSON JARED H JR & BRINDA M
1741 PEPPERDALE DR
ROWLAND HEIGHTS, CA 91748

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

RESIDENT
1995 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2000 PORTOFINO DR
ROCKWALL, TX 75032

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

DASILVA JOHN M
2009 TOUCH GOLD CT
ROWLETT, TX 75088

RESIDENT
2018 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2020 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2022 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2024 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2026 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2028 PORTOFINO DR
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RESIDENT
2030 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2032 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2036 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2038 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2055 SUMMER LEE DR
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

WALLICK & VOLK INC
222 E 18TH ST
CHEYENNE, WY 82001

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

GATZKE LISA AND JAMES
247 VICTORY LANE
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE
251 VICTORY LN
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY
253 VICTORY LN
ROCKWALL, TX 75032

ROCKWALL LOT 3 OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760

2055 SUMMER LEE ROCKWALL OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760

BRITTON MATTIE JO AND ZACHARY TAYLOR
256 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
257 VICTORY LN
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

CARPENTER REVOCABLE LIVING TRUST
2752 E FM 552
ROCKWALL, TX 75087

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

DEMARS GREGORY SCOTT AND
CYNTHIA LEE FLOYD
281 VICTORY LANE
ROCKWALL, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BAILEY BETH KENNEDY
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

SALT PROPERTIES LLC
2931 RIDGE ROAD SUITE 101-181
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

SARAH LOREDO A/K/A SARAH ARCE SPECIAL
COMMUNITY PROPERTY TRUST, A SU
JAIME & SARAH ARCE LIVING TRUST, SARAH
LOREDO/SARAH ARCE-T
315 VICTORY LN
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

LESLIE RANDY
349 E ELDORADO DR
SCROGGINS, TX 75480

MCILRATH PROPERTIES LLC
3910 WESLEY ST
GREENVILLE, TX 75401

STRAHM ROBERT & DENA LYNNE
4010 STONE HAVEN DR
GARLAND, TX 75043

OPENDOOR PROPERTY J LLC
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

OPENDOOR PROPERTY J LLC
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

GARDNER DAVID L REV LIV TR
4401 GMD UNIT 702
LONGBOAT KEY, FL 34228

DAVID L GARDNER REVOCABLE LIVING TRUST
4401 GULF OF MEXICO DR UNIT 702
LONGBOAT KEY, FL 34228

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

BOUSSERT ANNE S & CHRISTIAN B
516 CAMELIA AVE
BATON ROUGE, LA 70806

ROCKWALL YELLOWJACKETS 3533 LLC
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

GRAF DANIEL & JESSICA
5307 92ND ST
LUBBOCK, TX 79424

BAUMGARD CHRIS & LAUREN
5324 PETERSON CT
FLOWER MOUND, TX 75028

VEGA DAVID AND ALICIA C
550 MCDONALD ROAD
HEATH, TX 75032

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

MCKINSTRY FRITZ AND KATHY LIVING TRUST
634 COURAGEOUS DR
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BENTON EMILY AND
LORI BENTON
785 WINDING RIDGE LN
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LONON DEBORAH J
802 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

KILLGORE LEE A
803 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
804 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG JOHN D III
804 EAGLE PASS
HEATH, TX 75032

BRYANT BLAIR WILLIAM JR
805 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE
TRUST
RAYMOND B & PHYLLIS F WALKER TRUSTEES
806 SIGNAL RIDGE PLACE UNIT 806
ROCKWALL, TX 75032

POPP LEILA
807 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R
808 SIGNAL RIDGE
ROCKWALL, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-
BRAY
809 SIGNAL RIDGE
ROCKWALL, TX 75032

GERAULT JANET
810 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

THOMPSON JOHN R AND REGINA B
813 SIGNAL RIDGE PLACE UNIT 813
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN LAURA J AND RONALD L
905 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GOODALL JOYCE ANN & JILL NICOLE COOPER
906 SIGNAL RIDGE PLACE 5
ROCKWALL, TX 75032

RESIDENT
907 SIGNAL RIDGE PL
ROCKWALL, TX 75032

EFFLE MANDY E AND
JOSH DEATON
908 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
909 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
910 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BAIRD-SMIT JULIA GRAYSON
911 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WHITE DEBORAH
912 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DISMUKE JAMIE M
913 SIGNAL RIDGE PLACE #913
ROCKWALL, TX 75032

YANG JIE &
CHANGYUN LI
914 SIGNAL RIDGE PL UNIT 914
ROCKWALL, TX 75032

TUNNELL MEREDITH MICHELLE
915 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
916 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DEZEE GENENE
917 SIGNAL
ROCKWALL, TX 75032

RESIDENT
918 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LARAMORE ALLISON AND
KIMBERLY LARAMORE & BAYLIS H
919 SIGNAL RIGE PLACE
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

TAYLOR LIVING TRUST
KEVIN ASHLEY TAYLOR AND ANNETTE
ELIZABETH TAYLOR-COTRUSTEES
9918 LINCOLNSHIRE CT
ROCKWALL, TX 75087

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

GONZALEZ LOURDES
1027 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

THEY Affected Property Values in a Negative way.

Name: DAVID ANDERSON (D.A. Equities LLC)

Address: 923 Signal Ridge Place Rockwall TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2024-046: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- ① There is a housing shortage and this unit should be used for long term residential purposes
- ② There are many problems with short term rentals including increased crime

Name: Anne & Christian Boussert

Address: 1021 Signal Ridge Place, Rockwall 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-046: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-046: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

STR's should be allowed in Chandlers as long as there are rules for who is allowed to use the home & for what purposes.

Name: Mary Burkett
Address: 277 Terry Ln. Heath (owner of 5 Signal Ridge condos)

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We have concerns about who is renting these
short term rentals without concern for our neighbors

Name: *Kenneth Estill Kw. Estill*

Address: *1012 Signal Ridge Rockwall, TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-046: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a *Specific Use Permit (SUP)* for a *Short-Term Rental* on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-046: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Subject property is located in a gated community; on a short cul-de-sac street with little parking; the HOA restricts on-street overnight parking! Additional traffic & noise!

Name: Carolyn Francisco acct. # 20101-4134
Address: 277 Victory Lane, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Carolyn Francisco 214-729-2815

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Not appropriate for our community.
We moved here for security.

Name:

Jerry & Pat Hansen

Address:

262 Victory Lane

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Case No. Z2024-046: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Do not want STR's in Chandlers.

Name:

Debbie Harris

Address:

251 Victory Lane, Rockwall, TX 75082

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Case No. Z2024-046: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

I do not believe there would be any negative effect for a short or long term rental. In fact I believe it could help our area to provide this service.

Name: Pam Hawley
Address: 1042 Signal Ridge Pl.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The neighborhood is family based, not conducive to/for a short-term rentals. The private security in this area along with our public police department do not have available resources to properly protect others increase of violence if it occurs as *

Name: Charlie Massey

Address: 2919 Lago Vista Ln, Rockwall, 75082

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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* A result of the rental.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2024-046: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

It is a large house so...
① - large parties
② - large families w lots of kids
③ - as it is we are keeping our rentals low here so I do
Name: *Sharon Microw* *{not want more*
Address: *1009 Signal Ridge Pl. Rockwall 75032* *{near by (rentals)}*

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Increased traffic and late night parties
Also, it will increase crime in the area

Name: Michael O'Connor

Address: 105 Mayflower Court, Rockwall, Texas

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Other areas that have allowed short-term rentals have had lots of problems including increased crime rates, wild parties and destruction of property.

Name: Gayle Smitherman

Address: 1021 Signal Ridge Pl, Rockwall TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-046

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I do not feel that short term rentals should be allowed in residential neighborhoods due to increased traffic, possible crime, possible disturbance of the peace.

Respondent Information

Please provide your information.

First Name *

Annette

Last Name *

Taylor

Address *

909 Signal Ridge

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

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Please place a check mark on the appropriate line below:

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Name:

Address:

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Wendy Petersen
2880 Chippewa Way
Provo, UT 84604-4349
214-675-4142
wendyhp55@gmail.com

10 September 2024

City of Rockwall
Planning and Zoning Department
385 South Goliad Street
Rockwall, TX 75087

Re: 108 Reliance Court

Dear Planning and Zoning Department:

This letter regards a Specific Use Permit for the residence located at 108 Reliance Court, Rockwall, Texas for designation as a short-term rental.

My husband and I built our dream house in 1994 on property we purchased in Chandlers Landing in 1993.* We lived in the house for 30 years and raised our children there.

For the past few years, my husband's parents have been inviting us to live with them in Utah to help care for them. They are 92 and 96 years old. We had several situations that prevented us from accommodating them, but during the last couple of years, things fell into place, and we made the big move. We were excited to go because most of our children and grandchildren are also in Utah.

We love our house and don't want to sell it. We want to return to visit friends and family occasionally, but we don't want our home to sit vacant most of the time. Logically, converting it into a short-term rental is a great solution because it would be occupied much of the time (hopefully), it would generate income to pay for property insurance and taxes, and we can reserve it for ourselves when we visit.

Our house is approximately 950 feet away from the nearest existing short-term rental, about 50 feet under the 1,000-foot proximity requirement. There are several items to consider in our application for a Specific Use Permit:

- Our home is located in Chandlers Landing which is an attractive neighborhood with many speed bumps which encourages slow traffic.
- Yacht Club Drive, which circles the community, is two miles around. About one consecutive mile of Yacht Club Drive has only a couple of homes whose front doors face the Drive. Reliance Court is a street that intersects that section of the Drive. The result is a feeling of less concentration and more spaciousness.
- Our property on Reliance Court includes a landscaped lot which provides a peaceful clearing.
- Our property is adjacent to the condominiums at Signal Ridge which is separated from Chandlers Landing by a fence, bushes, and trees and provides privacy.
- Our property has retaining walls on two sides which act as buffers.
- Our home is located in a small, quiet cul-de-sac that is somewhat secluded.

In addition to the City's ordinances, the Chandlers Landing Community Association requires a short-term rental application. It includes an annual administrative fee of \$100 and a \$1,500 deposit to cover fines and damages. There are regulations such as quiet time between 10 pm and 8 am, no overnight street parking, and other conditions with which renters must comply. I intend to clearly communicate to renters the importance of keeping the rules, otherwise, I will lose my ability to maintain my home as a rental.

Our home is an attractive asset that will accommodate guests in a desirable location without adversely influencing the beautiful City of Rockwall, Chandlers Landing, its residents, or visitors.

Sincerely,

A handwritten signature in black ink, appearing to read 'Wendy Petersen', written in a cursive style.

Wendy Petersen

*An interesting bit of information is that our house was built from my husband's earnings working at id Software where he worked on Doom, one of the most influential video games of all time. As a matter of fact, portions of our home are featured in Doom II. My husband, Carl Sanford (Sandy) Petersen, is a world-renowned game designer whose specialty is making games fun. He has an impressive resume filled with award-winning role-playing games, board games, card games, video games, and computer games.

Enclosures: Development Application

History of Petersen ownership of Reliance Court property

Email from Rockwall City P&Z Department accepting out-of-state notary on application

\$215 check for application fee











History of Property at
108 Reliance Court, Rockwall, Texas
Owned by Carl Sanford (Sandy) Petersen and Wendy Petersen

1993 Purchased property in Rockwall.

Chandlers Landing, Phase 20, Lot 26.
Rockwall County Plat Records, Cabinet B, Slides 254-256.

1994 Built house on property. Paid cash for part of construction costs and acquired a mortgage for remainder.

108 Reliance Court, Rockwall.

2001 Purchased vacant lot adjacent to 108 Reliance Court.

Chandlers Landing, Phase 20, Lot 25.
Rockwall County Plat Records, Cabinet B, Slides 254-256.

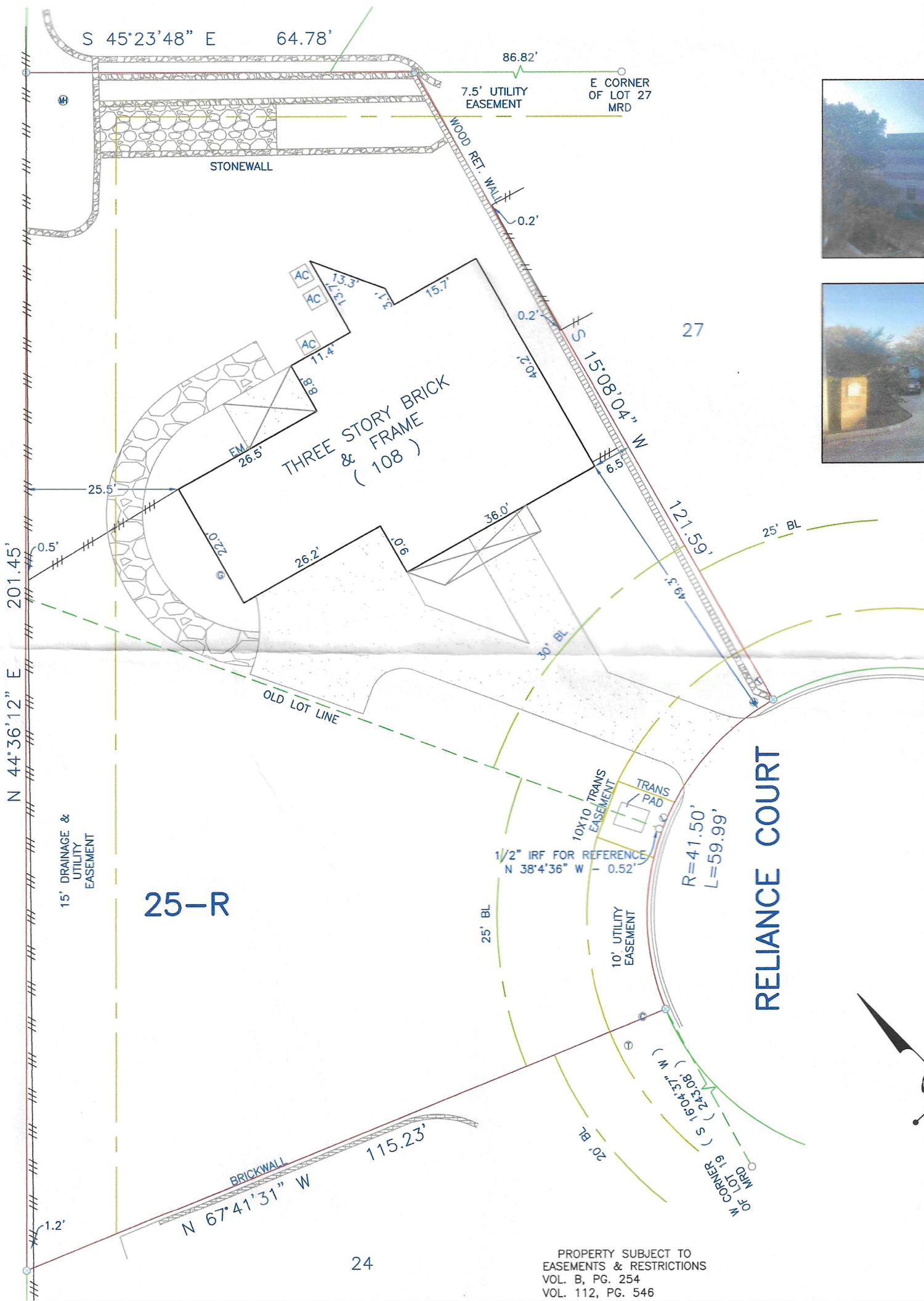
2001 Paid off mortgage acquired in 1994.

2005 Replat of Lots 25 and 26 to join the lots into one property.

Chandlers Landing, Phase 20, Lot 25-R.
Rockwall County Plat Records, Cabinet F, Slide 155.

2015 Obtained a home equity loan to invest money in a family business and 108 Reliance Court is collateral for the loan.

2024 Preparing home to become a short-term rental.



S 45°23'48" E 64.78'

86.82'
7.5' UTILITY EASEMENT
E CORNER OF LOT 27 MRD

STONEWALL

WOOD RET. WALL

THREE STORY BRICK & FRAME (108)

27

201.45'

N 44°36'12" E

15' DRAINAGE & UTILITY EASEMENT

25-R

OLD LOT LINE

25' BL

1/2" IRF FOR REFERENCE
N 38°4'36" W - 0.52'

10x10 TRANS EASEMENT
TRANS PAD

10' UTILITY EASEMENT

R=41.50'
L=59.99'

RELIANCE COURT

1.2'

BRICKWALL
N 67°41'31" W

24

PROPERTY SUBJECT TO EASEMENTS & RESTRICTIONS
VOL. B, PG. 254
VOL. 112, PG. 546

W CORNER OF LOT 19 MRD (S 16°04'37" W) (243.08')

After recording please mail to:
ANGEL OAK MORTGAGE SOLUTIONS, LLC
980 HAMMOND DRIVE, SUITE 850
ATLANTA, GA 30328
Attn: Document Return

2020000028897
11/25/2020 10:57:26 AM
DEED OF TRUST
Pg: 1/16

Lawyers Title GF# 1901422000157

[Space Above This Line for Recording Data.]

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

THIS SECURITY INSTRUMENT SECURES AN EXTENSION OF CREDIT THAT IS THE TYPE OF CREDIT DEFINED BY SUBSECTION (a)(6) OF SECTION 50, ARTICLE XVI OF THE TEXAS CONSTITUTION.

TEXAS HOME EQUITY SECURITY INSTRUMENT (First Lien)

Loan Number: 802009148953
MIN: 10130160000651918
MERS Phone: 1-888-679-6377

This Security Instrument is not intended to finance Borrower's acquisition of the Property.

DEFINITIONS

Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 10, 12, 17, 19, 20 and 21. Certain rules regarding the usage of words used in this document are also provided in Section 15.

(A) "Security Instrument" means this document, which is dated **NOVEMBER 18, 2020**, together with all Riders to this document.

(B) "Borrower" is **CARL PETERSEN A/K/A CARL S. PETERSEN AND A/K/A SANDY PETERSEN AND WENDY HALL PETERSEN A/K/A WENDY PETERSEN, HUSBAND AND WIFE**. Borrower is the grantor under this Security Instrument.

(C) "Lender" is **ANGEL OAK MORTGAGE SOLUTIONS, LLC**. Lender is a LLC organized and existing under the laws of **DELAWARE**. Lender's address is **980 HAMMOND DRIVE, SUITE 850, ATLANTA, GA 30328**. Lender includes any holder of the Note who is entitled to receive payments under the Note.

(D) "Trustee" is **THOMAS E BLACK, JR.** Trustee's address is **2905 CORPORATE CIRCLE, FLOWER MOUND, TX 75028**.

(E) "MERS" is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. **MERS is the beneficiary under this Security Instrument**. MERS is organized and existing under the laws of Delaware, and has an address and telephone number of P.O. Box 2026, Flint, MI 48501-2026, tel. (888) 679-MERS.

(F) "Note" means the promissory note signed by Borrower and dated **NOVEMBER 18, 2020**. The Note states that Borrower owes Lender **Two Hundred Eighty-Eight Thousand Seven Hundred Fifty And No/100 Dollars (U.S. \$288,750.00)** plus interest. Borrower has promised to pay this debt in regular Periodic Payments and to pay the debt in full not later than **DECEMBER 01, 2050**.

Initials: CP WHP

(G) "Property" means the property that is described below under the heading "Transfer of Rights in the Property."

(H) "Extension of Credit" means the debt evidenced by the Note, as defined by Section 50(a)(6), Article XVI of the Texas Constitution and all the documents executed in connection with the debt.

(I) "Riders" means all riders to this Security Instrument that are executed by Borrower. The following riders are to be executed by Borrower [check box as applicable]:

- Texas Home Equity Condominium Rider
- Texas Home Equity Planned Unit Development Rider
- Adjustable Rate Rider
- Other:

(J) "Applicable Law" means all controlling applicable federal, state and local statutes, regulations, ordinances and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

(K) "Community Association Dues, Fees, and Assessments" means all dues, fees, assessments and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association or similar organization.

(L) "Electronic Funds Transfer" means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone, wire transfers, and automated clearinghouse transfers.

(M) "Escrow Items" means those items that are described in Section 3.

(N) "Miscellaneous Proceeds" means any compensation, settlement, award of damages, or proceeds paid by any third party (other than insurance proceeds paid under the coverages described in Section 5) for: (i) damage to, or destruction of, the Property; (ii) condemnation or other taking of all or any part of the Property; (iii) conveyance in lieu of condemnation; or (iv) misrepresentations of, or omissions as to, the value and/or condition of the Property.

(O) "Periodic Payment" means the regularly scheduled amount due for (i) principal and interest under the Note, plus (ii) any amounts under Section 3 of this Security Instrument.

(P) "RESPA" means the Real Estate Settlement Procedures Act (12 U.S.C. § 2601 et seq.) and its implementing regulation, Regulation X (12 C.F.R. Part 1024), as they might be amended from time to time, or any additional or successor legislation or regulation that governs the same subject matter. As used in this Security Instrument, "RESPA" refers to all requirements and restrictions that are imposed in regard to a "federally related mortgage loan" even if the Extension of Credit does not qualify as a "federally related mortgage loan" under RESPA.

(Q) "Successor in Interest of Borrower" means any party that has taken title to the Property, whether or not that party has assumed Borrower's obligations under the Note and/or this Security Instrument.

TRANSFER OF RIGHTS IN THE PROPERTY

The beneficiary of this Security Instrument is MERS (solely as nominee for Lender and Lender's successors and assigns) and the successors and assigns of MERS. This Security Instrument secures to Lender: (i) the repayment of the Extension of Credit, and all extensions and modifications of the Note; and (ii) the performance of Borrower's covenants and agreements under this Security Instrument and the Note. For this purpose, Borrower irrevocably grants and conveys to Trustee, in trust, with power of sale, the following described Property located in the County of ROCKWALL:

BEING LOT 25R IN BLOCK A OF CHANDLERS LANDING, PHASE 20, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE REPLAT THEREOF RECORDED IN VOLUME F, PAGE 155, PLAT RECORDS, ROCKWALL COUNTY, TEXAS

which currently has the address of **108 RELIANCE COURT**

ROCKWALL, Texas **75032** ("Property Address"):
[City] [Street] [Zip Code]

TOGETHER WITH all the improvements now or hereafter erected on the Property, and all easements, appurtenances, and fixtures now or hereafter a part of the Property. All replacements and additions shall also be covered by this Security

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Instrument. All of the foregoing is referred to in this Security Instrument as the "Property"; provided however, that if the Property includes both homestead property and property that is not homestead property, the Property is limited solely to homestead property in accordance with Section 50(a)(6)(H), Article XVI of the Texas Constitution. If no part of the Property is homestead property, the homestead protections of Section 50, Article XVI of the Texas Constitution are not applicable to this Extension of Credit. Borrower understands and agrees that MERS holds only legal title to the interests granted by Borrower in this Security Instrument, but, if necessary to comply with law or custom, MERS (as nominee for Lender and Lender's successors and assigns) has the right: to exercise any or all of those interests, including, but not limited to, the right to foreclose and sell the Property; and to take any action required of Lender including, but not limited to, releasing and canceling this Security Instrument.

BORROWER COVENANTS that Borrower is lawfully seised of the estate hereby conveyed and has the right to grant and convey the Property and that the Property is unencumbered, except for encumbrances of record. Borrower warrants and will defend generally the title to the Property against all claims and demands, subject to any encumbrances of record.

Borrower and Lender covenant and agree as follows:

1. Payment of Principal, Interest, Escrow Items, and Late Charges. Borrower shall pay when due the principal of, and interest on, the debt evidenced by the Note and any late charges due under the Note. Borrower shall also pay funds for Escrow Items pursuant to Section 3. Payments due under the Note and this Security Instrument shall be made in U.S. currency. However, if any check or other instrument received by Lender as payment under the Note or this Security Instrument is returned to Lender unpaid, Lender may require that any or all subsequent payments due under the Note and this Security Instrument be made in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality, or entity; or (d) Electronic Funds Transfer.

Payments are deemed received by Lender when received at the location designated in the Note or at such other location as may be designated by Lender in accordance with the notice provisions in Section 14. Lender may return any payment or partial payment if the payment or partial payments are insufficient to bring the Extension of Credit current. Lender may accept any payment or partial payment insufficient to bring the Extension of Credit current, without waiver of any rights hereunder or prejudice to its rights to refuse such payment or partial payment in the future, but Lender is not obligated to apply such payments at the time such payments are accepted. If each Periodic Payment is applied as of its scheduled due date, then Lender need not pay interest on unapplied funds. Lender may hold such unapplied funds until Borrower makes payment to bring the Extension of Credit current. If Borrower does not do so within a reasonable period of time, Lender shall either apply such funds or return them to Borrower. If not applied or returned to Borrower earlier, such funds may be applied to the outstanding principal balance under the Note immediately prior to foreclosure without abandoning any acceleration of the Note. No offset or claim which Borrower might have now or in the future against Lender shall relieve Borrower from making payments due under the Note and this Security Instrument or performing the covenants and agreements secured by this Security Instrument.

2. Application of Payments or Proceeds. Except as otherwise described in this Section 2, all payments accepted and applied by Lender shall be applied in the following order of priority: (a) interest due under the Note; (b) principal due under the Note; (c) amounts due under Section 3. Such payments shall be applied to each Periodic Payment in the order in which it became due. Any remaining amounts shall be applied first to late charges, second to any other amounts due under this Security Instrument, and then to reduce the principal balance of the Note.

If Lender receives a payment from Borrower for a delinquent Periodic Payment which includes a sufficient amount to pay any late charge due, the payment may be applied to the delinquent payment and the late charge. If more than one Periodic Payment is outstanding, Lender may apply any payment received from Borrower to the repayment of the Periodic Payments if, and to the extent that, each payment can be paid in full. To the extent that any excess exists after the payment is applied to the full payment of one or more Periodic Payments, such excess may be applied to any late charges due. Voluntary prepayments shall be applied as described in the Note.

Any application of payments, insurance proceeds, or Miscellaneous Proceeds to principal due under the Note shall not extend or postpone the due date, or change the amount, of the Periodic Payments.

3. Funds for Escrow Items. Borrower shall pay to Lender on the day Periodic Payments are due under the Note, until the Note is paid in full, a sum (the "Funds") to provide for payment of amounts due for: (a) taxes and assessments and other items which can attain priority over this Security Instrument as a lien or encumbrance on the Property; (b) leasehold payments or ground rents on the Property, if any; and (c) premiums for any and all insurance required by Lender under Section 5. These items are called "Escrow Items." At origination or at any time during the term of the Extension of Credit, Lender may require that Community Association Dues, Fees, and Assessments, if any, be escrowed by Borrower, and such dues, fees and assessments shall be an Escrow Item. Borrower shall promptly furnish to Lender all notices of amounts to be paid under this Section. Borrower shall pay Lender the Funds for Escrow Items unless Lender waives Borrower's obligation

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to pay the Funds for any or all Escrow Items. Lender may waive Borrower's obligation to pay to Lender Funds for any or all Escrow Items at any time. Any such waiver may only be in writing. In the event of such waiver, Borrower shall pay directly, when and where payable, the amounts due for any Escrow Items for which payment of Funds has been waived by Lender and, if Lender requires, shall furnish to Lender receipts evidencing such payment within such time period as Lender may require. Borrower's obligation to make such payments and to provide receipts shall for all purposes be deemed to be a covenant and agreement contained in this Security Instrument, as the phrase "covenant and agreement" is used in Section 9. If Borrower is obligated to pay Escrow Items directly, pursuant to a waiver, and Borrower fails to pay the amount due for an Escrow Item, Lender may exercise its rights under Section 9 and pay such amount and Borrower shall then be obligated under Section 9 to repay to Lender any such amount. Lender may revoke the waiver as to any or all Escrow Items at any time by a notice given in accordance with Section 14 and, upon such revocation, Borrower shall pay to Lender all Funds, and in such amounts, that are then required under this Section 3.

Lender may, at any time, collect and hold Funds in an amount (a) sufficient to permit Lender to apply the Funds at the time specified under RESPA, and (b) not to exceed the maximum amount a lender can require under RESPA. Lender shall estimate the amount of Funds due on the basis of current data and reasonable estimates of expenditures of future Escrow Items or otherwise in accordance with Applicable Law.

The Funds shall be held in an institution whose deposits are insured by a federal agency, instrumentality, or entity (including Lender, if Lender is an institution whose deposits are so insured) or in any Federal Home Loan Bank. Lender shall apply the Funds to pay the Escrow Items no later than the time specified under RESPA. Lender shall not charge Borrower for holding and applying the Funds, annually analyzing the escrow account, or verifying the Escrow Items, unless Lender pays Borrower interest on the Funds and Applicable Law permits Lender to make such a charge. Unless an agreement is made in writing or Applicable Law requires interest to be paid on the Funds, Lender shall not be required to pay Borrower any interest or earnings on the Funds. Borrower and Lender can agree in writing, however, that interest shall be paid on the Funds. Lender shall give to Borrower, without charge, an annual accounting of the Funds as required by RESPA.

If there is a surplus of Funds held in escrow, as defined under RESPA, Lender shall account to Borrower for the excess funds in accordance with RESPA. If there is a shortage of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the shortage in accordance with RESPA, but in no more than twelve monthly payments. If there is a deficiency of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the deficiency in accordance with RESPA, but in no more than twelve monthly payments.

Upon payment in full of all sums secured by this Security Instrument, Lender shall promptly refund to Borrower any Funds held by Lender.

4. Charges; Liens. Borrower shall pay all taxes, assessments, charges, fines, and impositions attributable to the Property which can attain priority over this Security Instrument, leasehold payments or ground rents on the Property, if any, and Community Association Dues, Fees, and Assessments, if any. To the extent that these items are Escrow Items, Borrower shall pay them in the manner provided in Section 3.

Borrower shall promptly discharge any lien which has priority over this Security Instrument unless Borrower: (a) agrees in writing to the payment of the obligation secured by the lien in a manner acceptable to Lender, but only so long as Borrower is performing such agreement; (b) contests the lien in good faith by, or defends against enforcement of the lien in, legal proceedings which in Lender's opinion operate to prevent the enforcement of the lien while those proceedings are pending, but only until such proceedings are concluded; or (c) secures from the holder of the lien an agreement satisfactory to Lender subordinating the lien to this Security Instrument. If Lender determines that any part of the Property is subject to a lien which can attain priority over this Security Instrument, Lender may give Borrower a notice identifying the lien. Within 10 days of the date on which that notice is given, Borrower shall satisfy the lien or take one or more of the actions set forth above in this Section 4.

Lender may require Borrower to pay a one-time charge for a real estate tax verification and/or reporting service used by Lender in connection with this Extension of Credit.

5. Property Insurance. Borrower shall keep the improvements now existing or hereafter erected on the Property insured against loss by fire, hazards included within the term "extended coverage," and any other hazards including, but not limited to, earthquakes and floods, for which Lender requires insurance. This insurance shall be maintained in the amounts (including deductible levels) and for the periods that Lender requires. What Lender requires pursuant to the preceding sentences can change during the term of the Extension of Credit. The insurance carrier providing the insurance shall be chosen by Borrower subject to Lender's right to disapprove Borrower's choice, which right shall not be exercised unreasonably. Lender may require Borrower to pay, in connection with this Extension of Credit, either: (a) a one-time charge for flood zone determination, certification and tracking services; or (b) a one-time charge for flood zone determination and certification services and subsequent charges each time remappings or similar changes occur which reasonably might affect such determination or certification. Borrower shall also be responsible for the payment of any fees imposed by the

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Federal Emergency Management Agency in connection with the review of any flood zone determination resulting from an objection by Borrower.

If Borrower fails to maintain any of the coverages described above, Lender may obtain insurance coverage, at Lender's option and Borrower's expense. Lender is under no obligation to purchase any particular type or amount of coverage. Therefore, such coverage shall cover Lender, but might or might not protect Borrower, Borrower's equity in the Property, or the contents of the Property, against any risk, hazard or liability and might provide greater or lesser coverage than was previously in effect. Borrower acknowledges that the cost of the insurance coverage so obtained might significantly exceed the cost of insurance that Borrower could have obtained. Any amounts disbursed by Lender under this Section 5 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

All insurance policies required by Lender and renewals of such policies shall be subject to Lender's right to disapprove such policies, shall include a standard mortgage clause, and shall name Lender as mortgagee and/or as an additional loss payee. Lender shall have the right to hold the policies and renewal certificates. If Lender requires, Borrower shall promptly give to Lender all receipts of paid premiums and renewal notices. If Borrower obtains any form of insurance coverage, not otherwise required by Lender, for damage to, or destruction of, the Property, such policy shall include a standard mortgage clause and shall name Lender as mortgagee and/or as an additional loss payee.

In the event of loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss if not made promptly by Borrower. Unless Lender and Borrower otherwise agree in writing, any insurance proceeds, whether or not the underlying insurance was required by Lender, shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such insurance proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such insurance proceeds, Lender shall not be required to pay Borrower any interest or earnings on such proceeds. Fees for public adjusters, or other third parties, retained by Borrower shall not be paid out of the insurance proceeds and shall be the sole obligation of Borrower. If the restoration or repair is not economically feasible or Lender's security would be lessened, the insurance proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such insurance proceeds shall be applied in the order provided for in Section 2.

If Borrower abandons the Property, Lender may file, negotiate and settle any available insurance claim and related matters. If Borrower does not respond within 30 days to a notice from Lender that the insurance carrier has offered to settle a claim, then Lender may negotiate and settle the claim. The 30-day period will begin when the notice is given. In either event, or if Lender acquires the Property under Section 21 or otherwise, Borrower hereby assigns to Lender (a) Borrower's rights to any insurance proceeds in an amount not to exceed the amounts unpaid under the Note or this Security Instrument, and (b) any other of Borrower's rights (other than the right to any refund of unearned premiums paid by Borrower) under all insurance policies covering the Property, insofar as such rights are applicable to the coverage of the Property. Lender may use the insurance proceeds either to repair or restore the Property or to pay amounts unpaid under the Note or this Security Instrument, whether or not then due.

6. Occupancy. Borrower now occupies and uses the Property as Borrower's Texas homestead and shall continue to occupy the Property as Borrower's Texas homestead for at least one year after the date of this Security Instrument, unless Lender otherwise agrees in writing, which consent shall not be unreasonably withheld, or unless extenuating circumstances exist which are beyond Borrower's control.

7. Preservation, Maintenance and Protection of the Property; Inspections. Borrower shall not destroy, damage or impair the Property, allow the Property to deteriorate or commit waste on the Property. Whether or not Borrower is residing in the Property, Borrower shall maintain the Property in order to prevent the Property from deteriorating or decreasing in value due to its condition. Unless it is determined pursuant to Section 5 that repair or restoration is not economically feasible, Borrower shall promptly repair the Property if damaged to avoid further deterioration or damage. If insurance or condemnation proceeds are paid in connection with damage to, or the taking of, the Property, Borrower shall be responsible for repairing or restoring the Property only if Lender has released proceeds for such purposes. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. If the insurance or condemnation proceeds are not sufficient to repair or restore the Property, Borrower is not relieved of Borrower's obligation for the completion of such repair or restoration.

Lender or its agent may make reasonable entries upon and inspections of the Property. If it has reasonable cause, Lender may inspect the interior of the improvements on the Property. Lender shall give Borrower notice at the time of or prior to such an interior inspection specifying such reasonable cause.

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8. Borrower's Loan Application. Borrower's actions shall constitute actual fraud under Section 50(a)(6)(c), Article XVI of the Texas Constitution and Borrower shall be in default and may be held personally liable for the debt evidenced by the Note and this Security Instrument if, during the Loan application process, Borrower or any persons or entities acting at the direction of Borrower or with Borrower's knowledge or consent gave materially false, misleading, or inaccurate information or statements to Lender (or failed to provide Lender with material information) in connection with the Loan or any other action or inaction that is determined to be actual fraud. Material representations include, but are not limited to, representations concerning Borrower's occupancy of the Property as a Texas homestead, the representations and warranties contained in the Texas Home Equity Affidavit and Agreement, and the execution of an acknowledgment of fair market value of the property as described in Section 27.

9. Protection of Lender's Interest in the Property and Rights Under this Security Instrument. If (a) Borrower fails to perform the covenants and agreements contained in this Security Instrument, (b) there is a legal proceeding that might significantly affect Lender's interest in the Property and/or rights under this Security Instrument (such as a proceeding in bankruptcy, probate, for condemnation or forfeiture, for enforcement of a lien which may attain priority over this Security Instrument or to enforce laws or regulations), or (c) Borrower has abandoned the Property, then Lender may do and pay for whatever is reasonable or appropriate to protect Lender's interest in the Property and rights under this Security Instrument, including protecting and/or assessing the value of the Property, and securing and/or repairing the Property. Lender's actions can include, but are not limited to: (a) paying any sums secured by a lien which has priority over this Security Instrument; (b) appearing in court; and (c) paying reasonable attorneys' fees to protect its interest in the Property and/or rights under this Security Instrument, including its secured position in a bankruptcy proceeding. Securing the Property includes, but is not limited to, entering the Property to make repairs, change locks, replace or board up doors and windows, drain water from pipes, eliminate building or other code violations or dangerous conditions, and have utilities turned on or off. Although Lender may take action under this Section 9, Lender does not have to do so and is not under any duty or obligation to do so. It is agreed that Lender incurs no liability for not taking any or all actions authorized under this Section 9. No powers are granted by Borrower to Lender or Trustee that would violate provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution or other Applicable Law.

Any amounts disbursed by Lender under this Section 9 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

If this Security Instrument is on a leasehold, Borrower shall comply with all the provisions of the lease. If Borrower acquires fee title to the Property, the leasehold and the fee title shall not merge unless Lender agrees to the merger in writing.

10. Assignment of Miscellaneous Proceeds; Forfeiture. All Miscellaneous Proceeds are hereby assigned to and shall be paid to Lender.

If the Property is damaged, such Miscellaneous Proceeds shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such Miscellaneous Proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may pay for the repairs and restoration in a single disbursement or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such Miscellaneous Proceeds, Lender shall not be required to pay Borrower any interest or earnings on such Miscellaneous Proceeds. If the restoration or repair is not economically feasible or Lender's security would be lessened, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such Miscellaneous Proceeds shall be applied in the order provided for in Section 2.

In the event of a total taking, destruction, or loss in value of the Property, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is equal to or greater than the amount of the sums secured by this Security Instrument immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the sums secured by this Security Instrument shall be reduced by the amount of the Miscellaneous Proceeds multiplied by the following fraction: (a) the total amount of the sums secured immediately before the partial taking, destruction, or loss in value divided by (b) the fair market value of the Property immediately before the partial taking, destruction, or loss in value. Any balance shall be paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is less than the amount of the sums secured immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument whether or not the sums are then due.

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If the Property is abandoned by Borrower, or if, after notice by Lender to Borrower that the Opposing Party (as defined in the next sentence) offers to make an award to settle a claim for damages, Borrower fails to respond to Lender within 30 days after the date the notice is given, Lender is authorized to collect and apply the Miscellaneous Proceeds either to restoration or repair of the Property or to the sums secured by this Security Instrument, whether or not then due. "Opposing Party" means the third party that owes Borrower Miscellaneous Proceeds or the party against whom Borrower has a right of action in regard to Miscellaneous Proceeds.

Borrower shall be in default if any action or proceeding which is not commenced as a result of Borrower's default under other indebtedness not secured by a prior valid encumbrance against the homestead, whether civil or criminal, is begun that, in Lender's judgment, could result in forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. Borrower can cure such a default and, if acceleration has occurred, reinstate as provided in Section 18, by causing the action or proceeding to be dismissed with a ruling that, in Lender's judgment, precludes forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. The proceeds of any award or claim for damages that are attributable to the impairment of Lender's interest in the Property are hereby assigned and shall be paid to Lender.

All Miscellaneous Proceeds that are not applied to restoration or repair of the Property shall be applied in the order provided for in Section 2.

11. Borrower Not Released; Forbearance By Lender Not a Waiver. Extension of the time for payment or modification of amortization of the sums secured by this Security Instrument granted by Lender to Borrower or any Successor in Interest of Borrower shall not operate to release the liability of Borrower or any Successors in Interest of Borrower. Lender shall not be required to commence proceedings against any Successor in Interest of Borrower or to refuse to extend time for payment or otherwise modify amortization of the sums secured by this Security Instrument by reason of any demand made by the original Borrower or any Successors in Interest of Borrower. Any forbearance by Lender in exercising any right or remedy including, without limitation, Lender's acceptance of payments from third persons, entities or Successors in Interest of Borrower or in amounts less than the amount then due, shall not be a waiver of or preclude the exercise of any right or remedy.

12. Joint and Several Liability; Security Instrument Execution; Successors and Assigns Bound. Borrower covenants and agrees that Borrower's obligations and liability shall be joint and several. However, any person who signs this Security Instrument, but does not execute the Note: (a) is signing this Security Instrument only to mortgage, grant and convey the person's interest in the Property under the terms of this Security Instrument and to comply with the requirements of Section 50(a)(6)(A), Article XVI of the Texas Constitution; (b) is not obligated to pay the sums secured by this Security Instrument and is not to be considered a guarantor or surety; (c) agrees that this Security Instrument establishes a voluntary lien on the homestead and constitutes a written agreement evidencing the person's consent to such lien; and (d) agrees that Lender and Borrower can agree to extend, modify, forbear or make any accommodations with regard to the terms of the Note. Borrower further represents, covenants, and agrees that each owner of the Property and each owner's spouse has consented to the voluntary lien on the homestead that is being established by this Security Instrument.

Subject to the provisions of Section 17, any Successor in Interest of Borrower who assumes Borrower's obligations under this Security Instrument in writing, and is approved by Lender, shall obtain all of Borrower's rights and benefits under this Security Instrument. Borrower shall not be released from Borrower's obligations and liability under this Security Instrument unless Lender agrees to such release in writing. The covenants and agreements of this Security Instrument shall bind (except as provided in Section 19) and benefit the successors and assigns of Lender.

13. Extension of Credit Charges. Lender may charge Borrower fees for services performed in connection with Borrower's default, for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument, including, but not limited to, attorneys' fees, property inspection and valuation fees. In regard to any other fees, the absence of express authority in this Security Instrument to charge a specific fee to Borrower shall not be construed as a prohibition on the charging of such fee. Lender may not charge fees that are expressly prohibited by this Security Instrument or by Applicable Law.

If the Extension of Credit is subject to a law which sets a limit on the amount of Extension of Credit charges, then all agreements between Lender and Borrower are expressly limited so that any Extension of Credit charges collected or to be collected (other than interest, bona fide discount points used to buy down the interest rate, and any excluded charges listed in Section 50(a)(6)(E)(i)-(iv) of the Texas Constitution) from Borrower, the owner of the Property, or the owner's spouse in connection with the origination, evaluation, maintenance, recording, insuring or servicing of the Extension of Credit are hereby amended so that such charges do not exceed, in the aggregate, the highest amount allowed by Applicable Law. If it is finally adjudicated by a court of last resort that the amount of such Extension of Credit charges exceeds the permitted limit, then: (a) any sums already collected from Borrower which exceeded the permitted limit will be refunded to Borrower; and (b) any sums yet to be collected from Borrower which exceed the permitted limit are hereby waived by Lender. Lender will make any refund required by this section by either making a payment to Borrower or by crediting the refund amount to the

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balance due on the Extension of Credit. Borrower acknowledges that there may be a bona fide dispute with regard to whether such Extension of Credit charges exceed in the aggregate a permitted limit and agrees that Lender will not have received adequate notice that such Extension of Credit charges exceed the permitted limit, and will have no obligation to refund any excess, unless and until that fact has been finally adjudicated by a court of last resort. **The Lender's payment or credit of any such refund will extinguish any right of action or defense to foreclosure Borrower might have arising out of such overcharge.**

This Section 13 will supersede any inconsistent provision of the Note or this Security Instrument.

14. Notices. All notices given by Borrower or Lender in connection with this Security Instrument must be in writing. Any notice to Borrower in connection with this Security Instrument shall be deemed to have been given to Borrower when mailed by first class mail or when actually delivered to Borrower's notice address if sent by other means. Notice to any one Borrower shall constitute notice to all Borrowers unless Applicable Law expressly requires otherwise. The notice address shall be the Property Address unless Borrower has designated a substitute notice address by notice to Lender. Borrower shall promptly notify Lender of Borrower's change of address. If Lender specifies a procedure for reporting Borrower's change of address, then Borrower shall only report a change of address through that specified procedure. There may be only one designated notice address under this Security Instrument at any one time. Any notice to Lender shall be given by delivering it or by mailing it by first class mail (but, by certified mail if the notice is given pursuant to Section 19) to Lender's address stated herein unless Lender has designated another address by notice to Borrower. Any notice in connection with this Security Instrument shall not be deemed to have been given to Lender until actually received by Lender. If any notice required by this Security Instrument is also required under Applicable Law, the Applicable Law requirement will satisfy the corresponding requirement under this Security Instrument.

15. Governing Law; Severability; Rules of Construction. This Security Instrument shall be governed by federal law and the laws of Texas. All rights and obligations contained in this Security Instrument are subject to any requirements and limitations of Applicable Law. Applicable Law might explicitly or implicitly allow the parties to agree by contract or it might be silent, but such silence shall not be construed as a prohibition against agreement by contract. In the event that any provision or clause of this Security Instrument or the Note conflicts with Applicable Law, such conflict shall not affect other provisions of this Security Instrument or the Note which can be given effect without the conflicting provision.

As used in this Security Instrument: (a) words of the masculine gender shall mean and include corresponding neuter words or words of the feminine gender; (b) words in the singular shall mean and include the plural and vice versa; and (c) the word "may" gives sole discretion without any obligation to take any action.

16. Borrower's Copies. At the time the Extension of Credit is made, Borrower shall receive a copy of the final loan application and all executed documents signed by Borrower at closing related to the Extension of Credit.

17. Transfer of the Property or a Beneficial Interest in Borrower. As used in this Section 17, "Interest in the Property" means any legal or beneficial interest in the Property, including, but not limited to, those beneficial interests transferred in a bond for deed, contract for deed, installment sales contract or escrow agreement, the intent of which is the transfer of title by Borrower at a future date to a purchaser.

If all or any part of the Property or any Interest in the Property is sold or transferred (or if Borrower is not a natural person and a beneficial interest in Borrower is sold or transferred) without Lender's prior written consent, Lender may require immediate payment in full of all sums secured by this Security Instrument. However, this option shall not be exercised by Lender if such exercise is prohibited by Applicable Law.

If Lender exercises this option, Lender shall give Borrower notice of acceleration. The notice shall provide a period of not less than 30 days from the date the notice is given in accordance with Section 14 within which Borrower must pay all sums secured by this Security Instrument. If Borrower fails to pay these sums prior to the expiration of this period, Lender may invoke any remedies permitted by this Security Instrument without further notice or demand on Borrower.

18. Borrower's Right to Reinstate After Acceleration. If Borrower meets certain conditions, Borrower shall have the right to have enforcement of this Security Instrument discontinued at any time prior to the earliest of: (a) five days before sale of the Property pursuant to any power of sale contained in this Security Instrument; (b) such other period as Applicable Law might specify for the termination of Borrower's right to reinstate; or (c) entry of a judgment enforcing this Security Instrument. Those conditions are that Borrower: (a) pays Lender all sums which then would be due under this Security Instrument and the Note as if no acceleration had occurred; (b) cures any default of any other covenants or agreements; (c) pays all expenses, insofar as allowed by Section 50(a)(6), Article XVI of the Texas Constitution, incurred in enforcing this Security Instrument, including, but not limited to, reasonable attorneys' fees, property inspection and valuation fees, and other fees incurred for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument; and (d) takes such action as Lender may reasonably require to assure that Lender's interest in the Property and rights under this Security Instrument, and Borrower's obligation to pay the sums secured by this Security Instrument, shall continue unchanged. Lender may require that Borrower pay such reinstatement sums and expenses in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check,

Initials: OP whp _____

provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality or entity; or (d) Electronic Funds Transfer. Upon reinstatement by Borrower, this Security Instrument and obligations secured hereby shall remain fully effective as if no acceleration had occurred. However, this right to reinstate shall not apply in the case of acceleration under Section 17.

19. Sale of Note; Change of Loan Servicer; Notice of Grievance; Lender's Right-to-Comply. The Note or a partial interest in the Note (together with this Security Instrument) can be sold one or more times without prior notice to Borrower. A sale might result in a change in the entity (known as the "Loan Servicer") that collects Periodic Payments due under the Note and this Security Instrument and performs other mortgage loan servicing obligations under the Note, this Security Instrument, and Applicable Law. There also might be one or more changes of the Loan Servicer unrelated to a sale of the Note. If there is a change of the Loan Servicer, Borrower will be given written notice of the change which will state the name and address of the new Loan Servicer, the address to which payments should be made and any other information RESPA requires in connection with a notice of transfer of servicing. If the Note is sold and thereafter the Extension of Credit is serviced by a Loan Servicer other than the purchaser of the Note, the mortgage loan servicing obligations to Borrower will remain with the Loan Servicer or be transferred to a successor Loan Servicer and are not assumed by the Note purchaser unless otherwise provided by the Note purchaser.

Neither Borrower nor Lender may commence, join, or be joined to any judicial action (as either an individual litigant or the member of a class) that arises from the other party's actions pursuant to this Security Instrument or that alleges that the other party has breached any provision of, or any duty owed by reason of, this Security Instrument, until such Borrower or Lender has notified the other party (with such notice given in compliance with the requirements of Section 14) of such alleged breach and afforded the other party hereto a reasonable period after the giving of such notice to take corrective action. If Applicable Law provides a time period which must elapse before certain action can be taken, that time period will be deemed to be reasonable for purposes of this paragraph. For example, Section 50(a)(6)(Q)(x), Article XVI of the Texas Constitution, generally provides that a lender has 60 days to comply with its obligations under the extension of credit after being notified by a borrower of a failure to comply with any such obligation. The notice of acceleration and opportunity to cure given to Borrower pursuant to Section 21 and the notice of acceleration given to Borrower pursuant to Section 17 shall be deemed to satisfy the notice and opportunity to take corrective action provisions of this Section 19.

It is Lender's and Borrower's intention to conform strictly to provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution.

All agreements between Lender and Borrower are hereby expressly limited so that in no event shall any agreement between Lender and Borrower, or between either of them and any third party, be construed to limit Lender's right or time period to correct any failure to comply with the provisions of Section 50(a)(6), Article XVI of the Texas Constitution to the fullest extent allowed by Applicable Law. As a precondition to taking any action premised on a failure of Lender to comply with its obligations under the Extension of Credit, Borrower will advise Lender of the noncompliance by a notice given as required by Section 14, and will give Lender at least 60 days after such notice has been received by Lender to comply. Except as otherwise required by Applicable Law, Lender shall forfeit all principal and interest of the Extension of Credit only if: (a) Lender receives said notice, the failure to comply may be corrected by one of the methods set forth in Section 50(a)(6)(Q)(x), Article XVI of the Texas Constitution, and Lender fails to correct the failure to comply within sixty (60) days after it receives said notice; (b) the Extension of Credit is made by a person other than a person described under Section 50(a)(6)(P), Article XVI of the Texas Constitution; or (c) each owner of the Property and each owner's spouse has not consented to the lien established by this Security Instrument and each owner and each owner's spouse who did not initially consent does not subsequently consent. Borrower will cooperate in reasonable efforts to correct any failure by Lender to comply with Section 50(a)(6), Article XVI of the Texas Constitution, including in reasonable efforts to obtain the subsequent consent of any owner or owner's spouse who does not initially consent to the lien established by this Security Instrument.

In the event that, for any reason whatsoever, any obligation of Borrower or of Lender pursuant to the terms or requirements hereof or of any other loan document shall be construed to violate any of the provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution, then any such obligation shall be subject to the provisions of this Section 19, and the document may be reformed, by written notice or written acknowledgment from Lender, without the necessity of the execution of any amendment or new document by Borrower, so that Borrower's or Lender's obligation shall be modified to conform to the Texas Constitution, and in no event shall Borrower or Lender be obligated to perform any act, or be bound by any requirement which would conflict therewith.

It is the express intention of Lender and Borrower to structure this Extension of Credit to conform to Applicable Law and, specifically, to the provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution. If, from any circumstance whatsoever, any promise, payment, obligation or provision of the Note, this Security Instrument or any other loan document involving this Extension of Credit transcends the limit of validity prescribed by Applicable Law or does not comply with Section 50(a)(6), Article XVI of the Texas

Initials: CF whp

more parcels and in any order Trustee determines. Lender or its designee may purchase the Property at any sale. In the event of any conflict between such procedure and the Rules, the Rules shall prevail, and this provision shall automatically be reformed to the extent necessary to comply.

Trustee shall deliver to the purchaser who acquires title to the Property pursuant to the foreclosure of the lien a Trustee's deed conveying indefeasible title to the Property with covenants of general warranty from Borrower. Borrower covenants and agrees to defend generally the purchaser's title to the Property against all claims and demands. The recitals in the Trustee's deed shall be prima facie evidence of the truth of the statements made therein. Trustee shall apply the proceeds of the sale in the following order: (a) to all expenses of the sale, including, but not limited to, court costs and reasonable Trustee's and attorneys' fees; (b) to all sums secured by this Security Instrument; and (c) any excess to the person or persons legally entitled to it.

If the Property is sold pursuant to this Section 22, Borrower or any person holding possession of the Property through Borrower shall immediately surrender possession of the Property to the purchaser at that sale. If possession is not surrendered, Borrower or such person shall be a tenant at sufferance and may be removed by writ of possession or other court proceeding.

23. Release. Within a reasonable time after termination and full payment of the Extension of Credit, Lender shall cancel and return the Note to the owner of the Property and give the owner, in recordable form, a release of the lien securing the Extension of Credit or a copy of an endorsement of the Note and assignment of the lien to a lender that is refinancing the Extension of Credit. Owner shall pay only recordation costs. **OWNER'S ACCEPTANCE OF SUCH RELEASE, OR ENDORSEMENT AND ASSIGNMENT, SHALL EXTINGUISH ALL OF LENDER'S OBLIGATIONS UNDER SECTION 50(a)(6), ARTICLE XVI OF THE TEXAS CONSTITUTION.**

24. Non-Recourse Liability. Lender shall be subrogated to any and all rights, superior title, liens and equities owned or claimed by any owner or holder of any liens and debts outstanding immediately prior to execution hereof, regardless of whether said liens or debts are acquired by Lender by assignment or are released by the holder thereof upon payment, and regardless of whether the lien established by this Security Instrument is held to be invalid. Borrower agrees that any statute of limitations related to a cause of action or right to foreclose based on such subrogated rights, superior title, liens, and equities are hereby tolled to the extent necessary until, at the earliest, a final adjudication by a court of last resort that the lien established by this Security Instrument is invalid. Borrower further agrees that Lender shall have the same rights and powers provided in Sections 21 and 22 of this Security Instrument in connection with any such subrogated rights, superior title, liens, and equities as Lender has in connection with the lien established by this Security Instrument.

Subject to the limitation of personal liability described below, each person who signs this Security Instrument is responsible for ensuring that all of Borrower's promises and obligations in the Note and this Security Instrument are performed.

Borrower understands that Section 50(a)(6)(C), Article XVI of the Texas Constitution provides that the Note is given without personal liability against each owner of the Property and against the spouse of each owner unless the owner or spouse obtained this Extension of Credit by actual fraud. This means that, absent such actual fraud, Lender can enforce its rights under this Security Instrument solely against the Property and not personally against the owner of the Property or the spouse of an owner.

If this Extension of Credit is obtained by such actual fraud, then, subject to Section 12, Borrower will be personally liable for the payment of any amounts due under the Note or this Security Instrument. This means that a personal judgment could be obtained against Borrower, if Borrower fails to perform Borrower's responsibilities under the Note or this Security Instrument, including a judgment for any deficiency that results from Lender's sale of the Property for an amount less than is owing under the Note, thereby subjecting Borrower's other assets to satisfaction of the debt.

If not prohibited by Section 50(a)(6)(C), Article XVI of the Texas Constitution, this Section 24 shall not impair in any way the lien of this Security Instrument or the right of Lender to collect all sums due under the Note and this Security Instrument or prejudice the right of Lender as to any covenants or conditions of the Note and this Security Instrument.

25. Proceeds. The owner of the Property shall not be required to apply the proceeds of the Extension of Credit to repay another debt, unless such debt, if any, is a debt secured by the Property or a debt to another lender. If proceeds of the Extension of Credit are being applied to a debt due to Lender and not secured by the Property, it is being done voluntarily by the owner of the Property and at the owner's request. Lender would make the Extension of Credit regardless of whether any proceeds are being applied to a debt due to Lender and not secured by the Property.

26. No Assignment of Wages. The owner of the Property is not assigning wages, and shall not be required to assign wages, as security for the Extension of Credit.

27. Acknowledgment of Fair Market Value. Lender and Borrower have executed a written acknowledgment as to the fair market value of Borrower's Property on the date the Extension of Credit is made. The fair market value stated in the written acknowledgment is correct and is the value estimate in an appraisal or evaluation of the Property that was prepared in accordance with a state or federal requirement applicable to an extension of credit under Section 50(a)(6), Article XVI, Texas

Initials: CR whp

Constitution. The principal amount of the Extension of Credit, when added to the aggregate total of the outstanding principal balances of all other indebtedness secured by valid encumbrances of record against the Property, does not exceed eighty percent (80%) of the value stated in the executed acknowledgment. Borrower understands and agrees that Lender and its successors and assigns are relying upon Borrower's representations regarding the fair market value of the Property as additional consideration for making or purchasing the Extension of Credit, and that such representations are material. Borrower represents, warrants, and agrees that such representations are being made on all information known to Borrower and Lender at this time, and that Borrower may not later assert a different fair market value of the Property, even if such assertion is based on information discovered by Borrower after the Extension of Credit is made.

28. Substitute Trustee; Trustee Liability. All rights, remedies and duties of Trustee under this Security Instrument may be exercised or performed by one or more trustees acting alone or together. Lender, at its option and with or without cause, may from time to time, by power of attorney or otherwise, remove or substitute any trustee, add one or more trustees, or appoint a successor trustee to any Trustee without the necessity of any formality other than a designation by Lender in writing. Without any further act or conveyance of the Property the substitute, additional or successor trustee shall become vested with the title, rights, remedies, powers and duties conferred upon Trustee herein and by Applicable Law.

Trustee shall not be liable if acting upon any notice, request, consent, demand, statement or other document believed by Trustee to be correct. Trustee shall not be liable for any act or omission unless such act or omission is willful.

29. Acknowledgment of Waiver by Lender of Additional Collateral. Borrower acknowledges that Lender waives all terms in any of Lender's loan documentation (whether existing now or created in the future) which (a) create cross default; (b) provide for additional collateral; (c) create personal liability for any Borrower (except in the event of actual fraud), for the Extension of Credit; and/or (d) allow the Extension of Credit to be accelerated because of a decrease in the market value of the Property or because of a default under other indebtedness not secured by a prior valid encumbrance against the Property. This waiver includes, but is not limited to, any (a) guaranty; (b) cross collateralization; (c) future indebtedness; (d) cross default; and/or (e) dragnet provisions in any loan documentation with Lender.

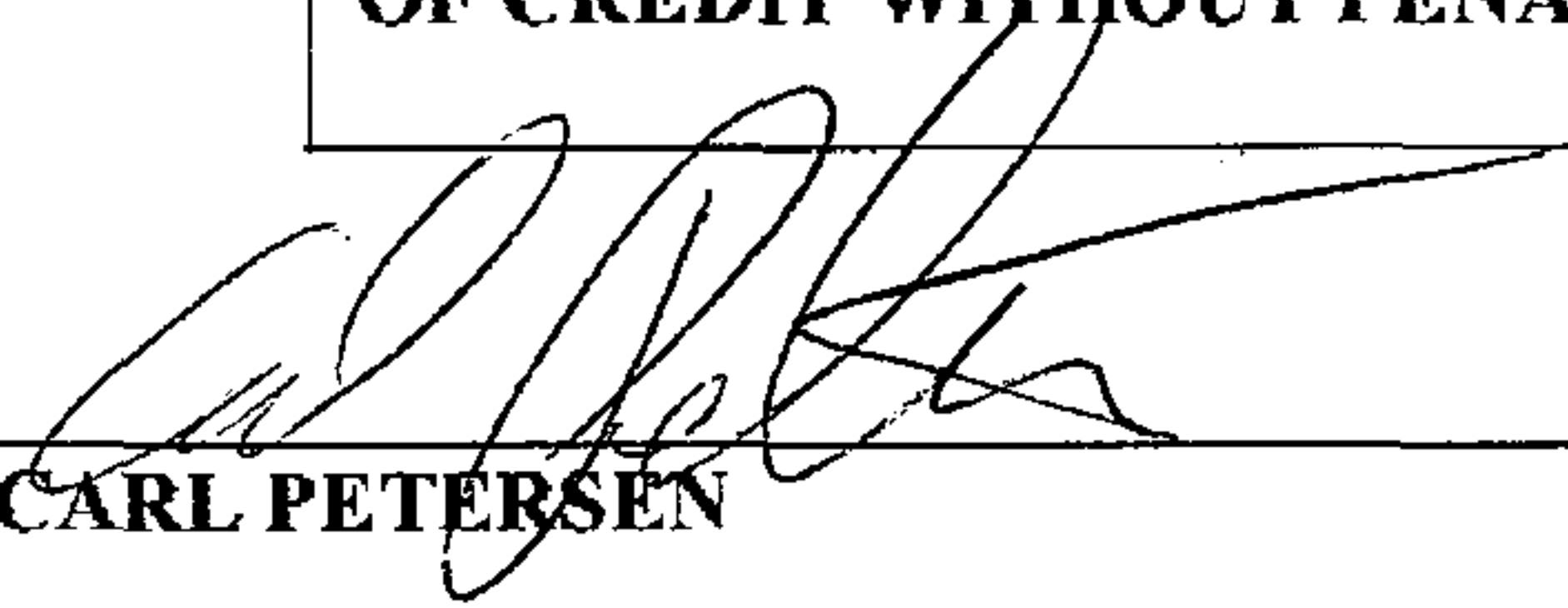
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OP *whp*

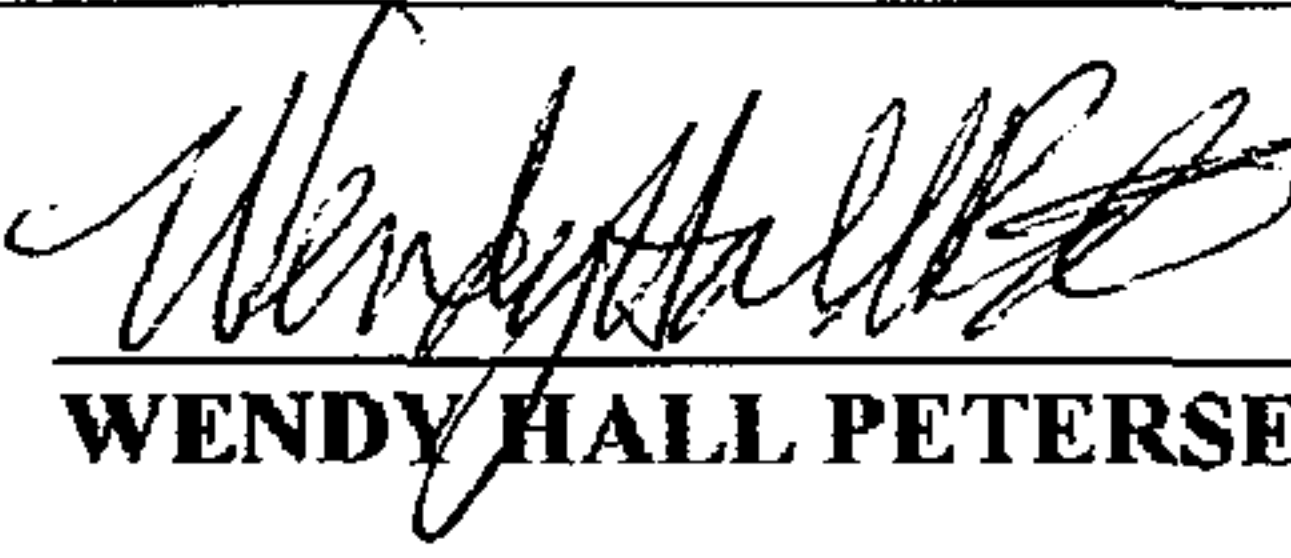
BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Security Instrument and in any Rider executed by Borrower and recorded with it.

[DO NOT SIGN IF THERE ARE BLANKS LEFT TO BE COMPLETED IN THIS DOCUMENT. THIS DOCUMENT MUST BE EXECUTED AT THE OFFICE OF LENDER, AN ATTORNEY AT LAW OR A TITLE COMPANY. YOU MUST RECEIVE A COPY OF THIS DOCUMENT AFTER YOU HAVE SIGNED IT.]

YOU MAY, WITHIN 3 DAYS AFTER CLOSING, RESCIND THIS EXTENSION OF CREDIT WITHOUT PENALTY OR CHARGE.



CARL PETERSEN -Borrower



WENDY HALL PETERSEN -Borrower

-Borrower

-Borrower

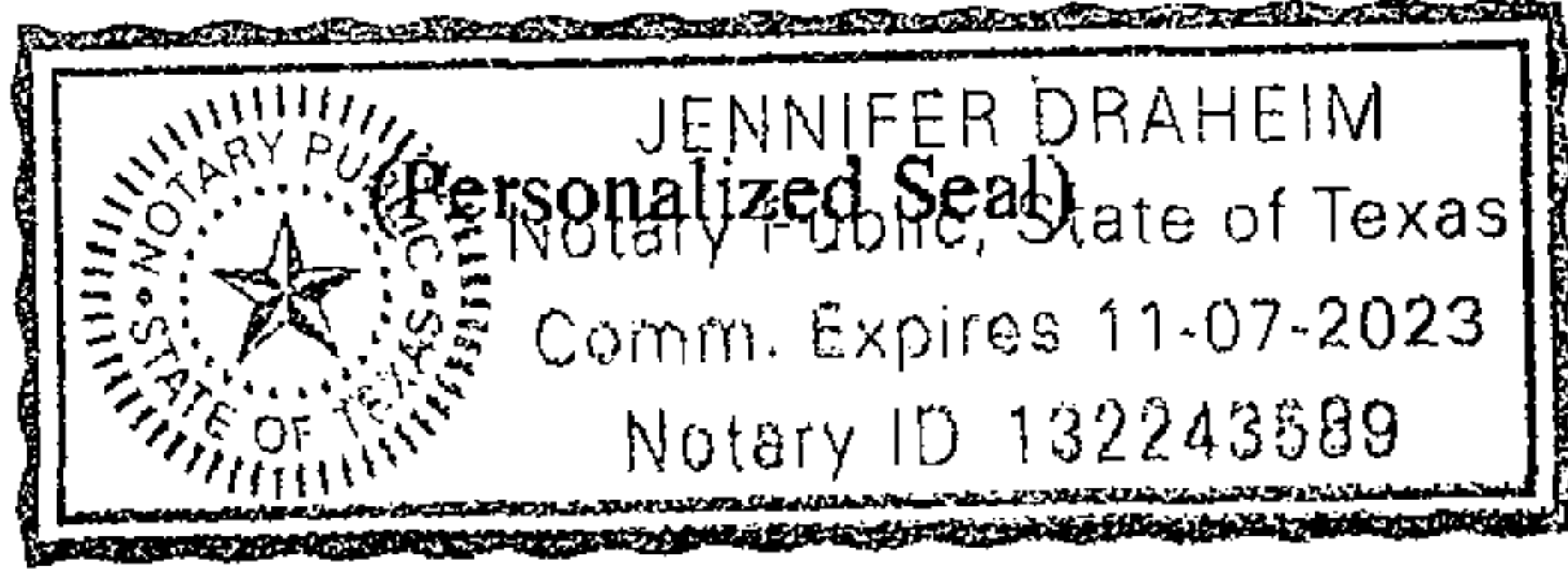
-Borrower

-Borrower

[Space Below This Line for Acknowledgment]

State of Texas
County of ~~COLLIN~~ Rockwall § § *Q*

This instrument was acknowledged before me on Nov 18, 2020 (date) by **CARL PETERSEN and WENDY HALL PETERSEN** (name or names of person or persons acknowledging).



Jennifer Draheim

Signature of Officer
E.O

Title of Officer
11-7-2023

My Commission Expires

Loan Originator Organization: AMCAP MORTGAGE, LTD.; NMLSR ID: 129122
Loan Originator Organization: ANGEL OAK MORTGAGE SOLUTIONS, LLC; NMLSR ID: 1160240
Individual Loan Originator: ANDREA SMITH; NMLSR ID: 207168

TEXAS HOME EQUITY PLANNED UNIT DEVELOPMENT RIDER

Loan Number: 802009148953

THIS PLANNED UNIT DEVELOPMENT RIDER is made this 18TH day of NOVEMBER, 2020, and is incorporated into and shall be deemed to amend and supplement the Security Instrument of the same date, given by the undersigned (the "Borrower") to secure Borrower's Note to ANGEL OAK MORTGAGE SOLUTIONS, LLC (the "Lender") of the same date and covering the property described in the Security Instrument and located at:

108 RELIANCE COURT, ROCKWALL, TX 75032

[Property Address]

The property includes, but is not limited to, a parcel of land improved with a dwelling, together with other such parcels and certain common areas and facilities, as described in covenants, conditions, and restrictions filed in the Real Property records of the county in which the property is located (the "Declaration"). The property is a part of a planned unit development described in the Declaration (the "PUD"). The property also includes Borrower's interest in the homeowners association or equivalent entity owning or managing the common areas and facilities of the PUD (the "Owners Association") and the uses, benefits and proceeds of Borrower's interest. Insofar as permitted by Section 50(a)(6)(H), Article XVI of the Texas Constitution, "homestead" shall include the elements of the property described by this Rider.

PUD COVENANTS. In addition to the covenants and agreements made in the Security Instrument, Borrower and Lender further covenant and agree as follows:

A. PUD Obligations. Borrower shall perform all of Borrower's obligations under the PUD's Constituent Documents. The "Constituent Documents" are the: (i) Declaration; (ii) articles of incorporation, trust instrument or any equivalent document which creates the Owners Association; and (iii) any by-laws or other rules or regulations of the Owners Association. Borrower shall promptly pay, when due, all dues and assessments imposed pursuant to the Constituent Documents.

B. Property Insurance. So long as the Owners Association maintains, with a generally accepted insurance carrier, a "master" or "blanket" policy insuring the property which is satisfactory to Lender and which provides insurance coverage in the amounts (including deductible levels), for the periods, and against loss by fire, hazards included within the term "extended coverage," and any other hazards, including, but not limited to, earthquakes and floods, from which Lender requires insurance, then:

(i) Lender waives the provision in Section 3 for the Periodic Payment to Lender of the yearly premium installments for property insurance on the property; and

(ii) Borrower's obligation under Section 5 to maintain property insurance coverage on the property is deemed satisfied to the extent that the required coverage is provided by the Owners Association policy.

What Lender requires as a condition of this waiver can change during the term of the loan.

Borrower shall give Lender prompt notice of any lapse in required property insurance coverage provided by the master or blanket policy.

In the event of a distribution of property insurance proceeds in lieu of restoration or repair following a loss to the property, or to common areas and facilities of the PUD, any proceeds payable to Borrower shall be paid to Lender. Lender shall apply the proceeds to the sums secured by the Security Instrument, whether or not then due, with the excess, if any, paid to Borrower.

C. Public Liability Insurance. Borrower shall take such actions as may be reasonable to insure that the Owners Association maintains a public liability insurance policy acceptable in form, amount, and extent of coverage to Lender.

D. Condemnation. The proceeds of any award or claim for damages, direct or consequential, payable to Borrower in connection with any condemnation or other taking of all or any part of the property or the common areas and facilities of the PUD, or for any conveyance in lieu of condemnation, shall be paid to Lender. Such proceeds shall be applied by Lender to the sums secured by the Security Instrument as provided in Section 10.

E. Lender's Prior Consent. Borrower shall not, except after notice to Lender and with Lender's prior written consent, either partition or subdivide the property or consent to:

(i) the abandonment or termination of the PUD, except for abandonment or termination required by law in the case of substantial destruction by fire or other casualty or in the case of a taking by condemnation or eminent domain;

(ii) any amendment to any provision of the "Constituent Documents" if the provision is for the express benefit of Lender;

(iii) termination of professional management and assumption of self-management of the Owners Association; or


(iv) any action which would have the effect of rendering the public liability insurance coverage maintained by the Owners Association unacceptable to Lender.

Initials: CP Whp


F. Remedies. If Borrower does not pay PUD dues and assessments when due, then Lender, if allowed by applicable law, may pay them. Any amounts disbursed by Lender under this paragraph F shall become additional debt of Borrower secured by the Security Instrument. Unless Borrower and Lender agree to other terms of payment, these amounts shall bear interest from the date of disbursement at the Note rate and shall be payable, with interest, upon notice from Lender to Borrower requesting payment.

BY SIGNING BELOW, Borrower accepts and agrees to the terms and provisions contained in this PUD Rider.

[DO NOT SIGN IF THERE ARE BLANKS LEFT TO BE COMPLETED IN THIS DOCUMENT. THIS DOCUMENT MUST BE EXECUTED AT THE OFFICE OF THE LENDER, AN ATTORNEY AT LAW OR A TITLE COMPANY. YOU MUST RECEIVE A COPY OF THIS DOCUMENT AFTER YOU HAVE SIGNED IT.]



CARL PETERSEN (Seal)
- Borrower



WENDY HALL PETERSEN (Seal)
- Borrower

(Seal)
- Borrower

(Seal)
- Borrower

(Seal)
- Borrower

(Seal)
- Borrower

Electronically Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
11/25/2020 10:57:26 AM
Fee: \$86.00
2020000028897





CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [ORDINANCE NO. 23-40] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A NON-OWNER-OCCUPIED SHORT-TERM RENTAL ON A 0.6391-ACRE PARCEL OF LAND IDENTIFIED AS LOT 25-R, BLOCK A, CHANDLER'S LANDING #20 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS the City Council of the City of Rockwall, Texas, has received a request from the Applicant for a Specific Use Permit (SUP) for a Non-Owner-Occupied Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this Ordinance; and the City Council of the City of Rockwall, Texas, has determined that the Subject Property is zoned PD-8 (Planned Development District 8) and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Unified Development Code (UDC) Ordinance No. 20-02, as amended, and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Planned Development District 8 (PD-8) Ordinance No. 23-40, as amended;

WHEREAS the City Council of the City of Rockwall, Texas, has determined that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Unified Development Code (UDC) Ordinance No. 20-02, as amended, and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Planned Development District 8 (PD-8) Ordinance No. 23-40, as amended; and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Unified Development Code (UDC) Ordinance No. 20-02, as amended, and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Planned Development District 8 (PD-8) Ordinance No. 23-40, as amended;

NOW, THEREFORE BE IT ORDAINED that the City Council of the City of Rockwall, Texas, do hereby enact and pass the following Ordinance:

SECTION 1. That the Planned Development District 8 (PD-8) Ordinance No. 23-40 and the Unified Development Code (UDC) Ordinance No. 20-02 be amended to allow a Specific Use Permit (SUP) for a Non-Owner-Occupied Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this Ordinance; and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Unified Development Code (UDC) Ordinance No. 20-02, as amended, and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Planned Development District 8 (PD-8) Ordinance No. 23-40, as amended;

SECTION 2. That the Special Use Permit (SUP) Ordinance be amended to allow a Specific Use Permit (SUP) for a Non-Owner-Occupied Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this Ordinance; and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Unified Development Code (UDC) Ordinance No. 20-02, as amended, and that the use of the Subject Property for a Non-Owner-Occupied Short-Term Rental is a use that is not specifically listed in the Planned Development District 8 (PD-8) Ordinance No. 23-40, as amended;

Ordinance 10.15.2024

SECTION 7. The Ordinance shall be effective on the date of its adoption.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF NOVEMBER, 2024.**

Tracy ... Mayor

ATTEST:

Krystal ... City Secretary

APPROVED AS TO FORM:

... City Attorney

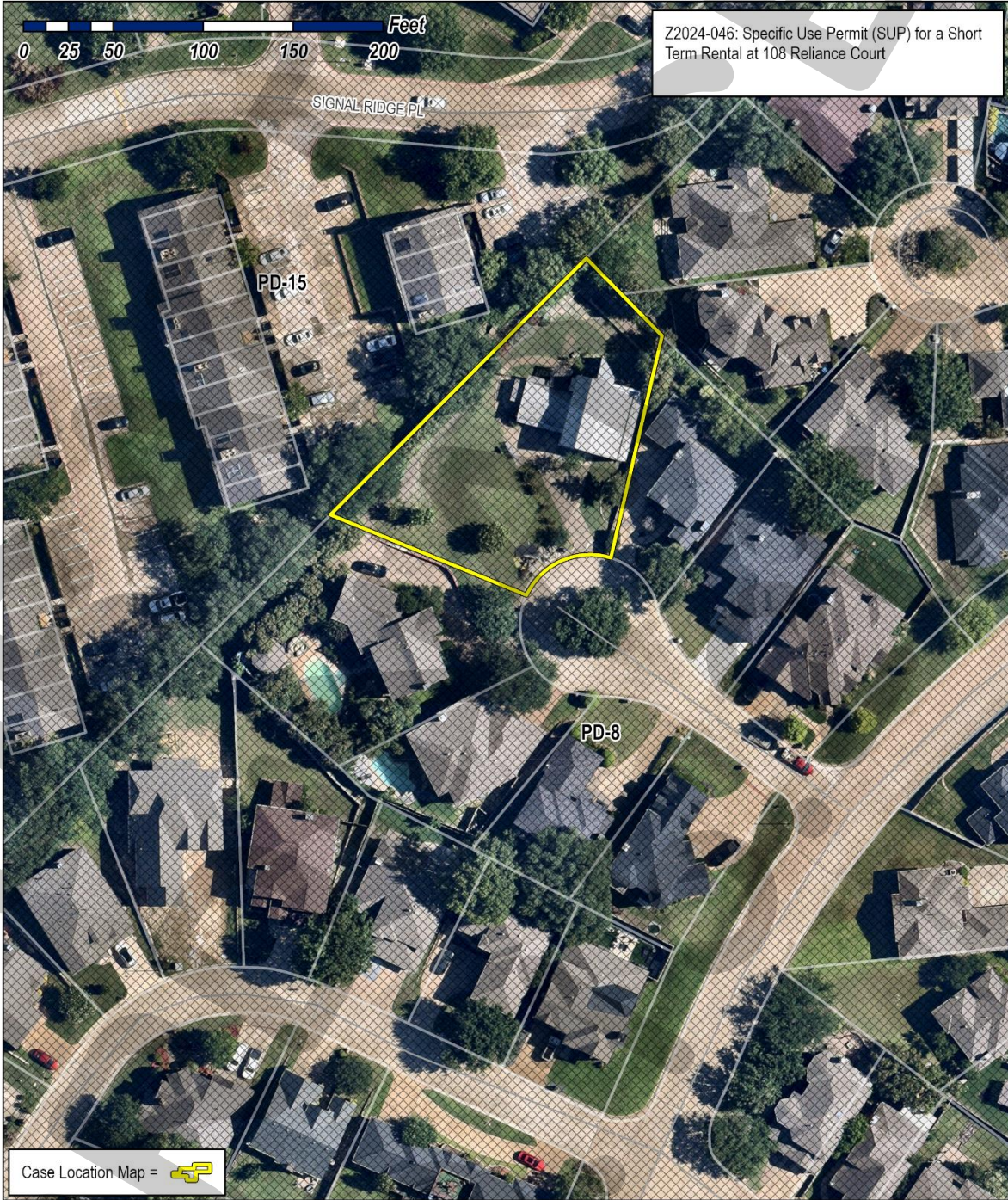
1st Read ... October 21, 2024

2nd Read ... November 4, 2024

Exhibit 'A'
Zoning Exhibit

Address: 108 Reliance Court

Legal Description: Lot 25-R, Block A, Chandler's Landing #20 Addition



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2024-04 SUP STR 108 R C P 4
Ord N 24-XX SUP S-3XX

City of Rockwall, Texas

Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY	
RECEIVED BY:	
DATE RECEIVED:	
STR PERMIT NO.	

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- wp I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- wp I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- wp I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- wp I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- wp I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

- New Registration | Renewal of an Existing Registration
Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address	108 Reliance Court, Rockwall, TX 75032	Zoning	Chandlers Landing Phase 20
Subdivision	Chandlers Landing	Lot	25-R Block A
General Location	just inside the Chandlers main entrance, turn right OR left and go exactly 1 mile to Reliance Court		

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)** An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Wendy Petersen	Phone	214-675-4142
Mailing Address	2880 Chippewa Way	City	Provo State UT Zip Code 84604-4349
Email	wendyhp55@gmail.com		

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

- Same as Property Owner

Name	Michael Lund	Phone	469-264-9632
Mailing Address	5425 Ranger Drive	City	Rockwall State TX Zip Code 75032
Email	lund.michael.james@gmail.com		

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'B'
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities.
- COMMERCIAL INSURANCE** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- bagged or otherwise -- placed on the ground.
- SIGNAGE** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking, the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7th DAY OF August, 2024
 RESPONSIBLE PARTY'S SIGNATURE Michael Lund
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Joseph W. Roberts County of Dallas MY COMMISSION EXPIRES 05/28/2025

Electronically signed and notarized online using the Proof platform.

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7th DAY OF August, 2024
 PROPERTY OWNER'S SIGNATURE Wendy Hall Petersen
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jasmine Fontenot County of Galveston MY COMMISSION EXPIRES October 10, 2027

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • (972) 771-1709

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City of Rockwall, Texas

Exhibit 'C':
Short-Term Rental Photographs





CITY OF ROCKWALL

PLANNING AND ZONING MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 15, 2024

APPLICANT: Eric Heideloff; *Enterprise Rent-A-Car, Inc.*

SUBJECT: Z2024-047; *Specific Use Permit (SUP) for Automobile Rental at 1801 S. Goliad Street*

On September 23, 2024, the applicant -- *Eric Heideloff of Enterprise Rent-A-Car Inc.* -- sent an email to staff requesting to withdraw *Case No. Z2024-047* stating that they require more time to prepare the updated plans. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means that the Planning and Zoning Commission will need to vote on the applicant's request to withdraw. Should the Planning and Zoning Commission have any questions, staff will be available at the October 15, 2024 meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 15, 2024
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: Z2024-048; *Zoning Change (AG to PD) for the Juniper Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The portions of the subject property adjacent to the current alignment of S. Goliad Street [SH-205] were annexed into the City on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. The remainder of the subject property, north of S. Goliad Street [SH-205], was annexed into the City on June 15, 1998 by *Ordinance No. 98-20 [Ordinance No. A1998-002]*. The portion of the subject property southeast of S. Goliad Street [SH-205] was annexed into the City on August 30, 1999 by *Ordinance No. 99-33 [Ordinance No. A1999-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. There have been no changes to the zoning designation, and the property has remained vacant since annexation.

On July 19, 2024, the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted a development application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. Specifically, the applicant was proposing to entitle the subject property for 41.00-acres of limited General Retail (GR) District land uses, and a 960-lot single-family residential subdivision that would have consisted of seven (7) lot sizes (*i.e. [A] 24, 185' x 200' lots; [B] 15, 100' x 200' lots; [C] 46, 100' x 140' lots; [D] 125, 82' x 125' lots; [E] 377, 72' x 125' lots; [F] 308, 62' x 125' lots; and, [G] 65, 52' x 120' lots*). On August 13, 2024, the Planning and Zoning Commission reviewed the applicant's case and approved a motion to recommend approval of the request by a vote of 3-2, with Commissioners Hagaman and Hustings dissenting and Commissioners Conway and Thompson absent. Subsequently, this case went before the City Council on August 19, 2024, and was ultimately denied without prejudice by a vote of 6-1, with Mayor Johannesen dissenting. Since this case was denied without prejudice, the applicant was permitted to resubmit an application without being subject to the application prohibition stipulated by Subsection 01.04, *Denial of an Application*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

PURPOSE

On September 13, 2024, the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted a new development application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. Specifically, the applicant is proposing to entitle the subject property for 41.00-acres of limited General Retail (GR) District land uses, and a 885-lot single-family residential subdivision that will consist of seven (7) lot sizes (*i.e. [A] 12, 185' x 200' lots that are a minimum of 65,340 SF; [B] 13, 185' x 200' lots that are a minimum of 43,560 SF; [C] 18, 120' x 200' lots that are a minimum of 32,670 SF; [D] 66, 100' x*

150' lots that are a minimum of 12,000 SF; [E] 168, 82' x 125' lots that are a minimum of 9,600 SF; [F] 339, 72' x 125' lots that are a minimum of 8,640 SF; and, [G] 269, 62' x 125' lots that are a minimum of 7,440 SF).

ADJACENT LAND USES AND ACCESS

The subject property is generally located north and south of S. Goliad Street [SH-205]; with the northside being bounded by John King Boulevard, S. Goliad Street [SH-205], FM-549, and a property owned by the Rockwall Independent School District (RISD), and the southside being bounded by S. Goliad Street [SH-205], Lofland Circle, and the Lake Rockwall Estates Subdivision. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is an 80.00-acre parcel of land (i.e. Lot 3, Block A, Rockwall CCA Addition), which is occupied by a Public Secondary School (i.e. Rockwall 9th Grade Center South). North of this is a 27.4460-acre parcel of land (i.e. Lot 1, Block A, Rockwall CCA Addition), which is occupied by a Public Secondary School (i.e. the Rockwall College and Career Academy). Also, north of the subject property is a 145.554-acre tract of land (i.e. Tract 7-1 of the W. H. Baird Survey, Abstract No. 25), which is vacant. All of these properties are owned by the Rockwall Independent School District, and are zoned Planned Development District 95 (PD-95) for limited Neighborhood Services (NS) District land uses. Beyond these tracts of land is the Lofland Farms Subdivision, which consists of 401 single-family residential lots on 130.52-acres of land. This subdivision is zoned Planned Development District 45 (PD-45) for Single-Family 10 (SF-10) District land uses.

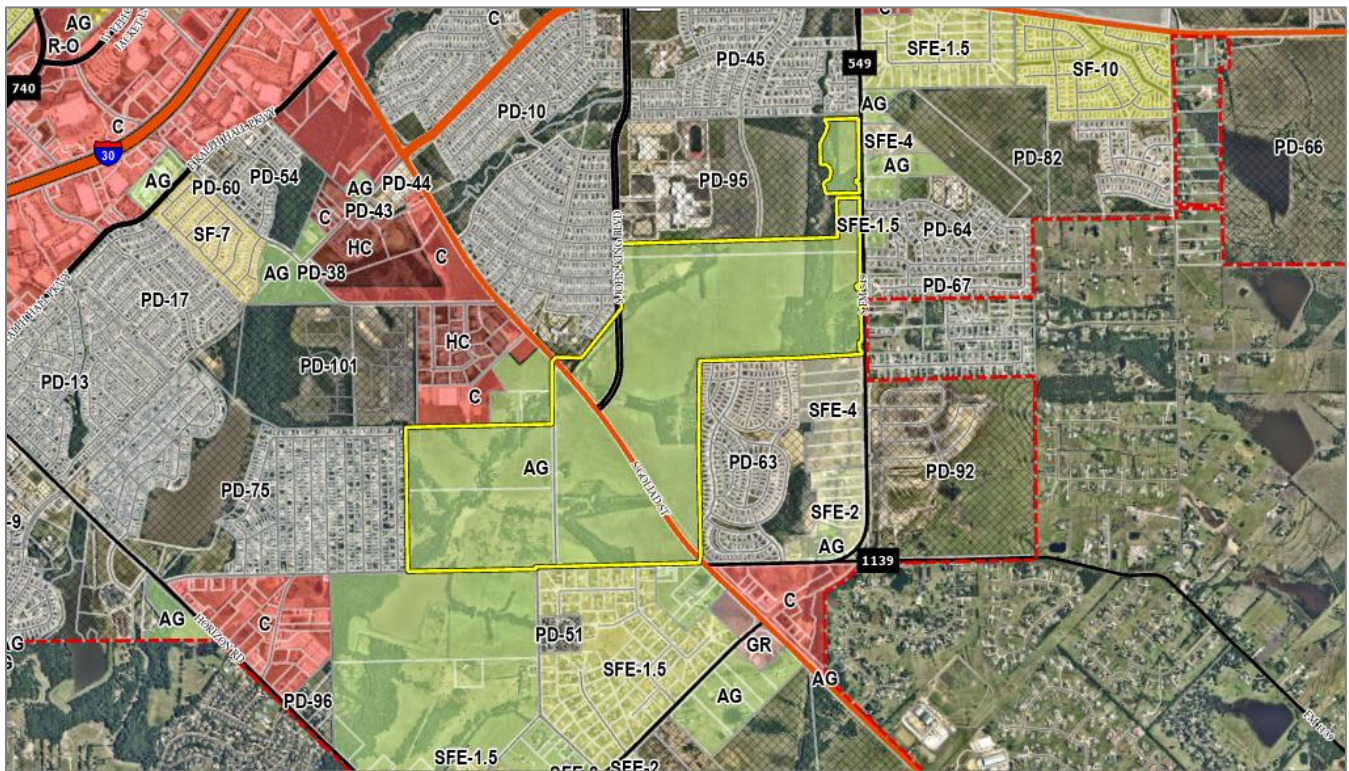
South: Directly south of the subject property is the following: [1] the Somerset Park Subdivision, which consists of 309 single-family residential lots on 139.31-acres that are zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses; [2] the Lofland Lake Estates Subdivision, which consists of 15 single-family residential lots on 66.10-acres that are zoned Agricultural (AG), Single-Family Estate 2.0 (SFE-2.0), and Single-Family Estates 4.0 (SFE-4.0) Districts; and, [3] Lofland Circle, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of Lofland Circle is the Oaks of Buffalo Way Subdivision, which consists of 65 single-family residential lots on 117.63-acres. This subdivision is zoned Single-Family Estate 1.5 (SFE-1.5) District.

East: Directly east of the subject property are the following subdivisions: [1] the Somerset Park Subdivision, which consists of 309 single-family residential lots on 139.31-acres that are zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses; [2] the Lofland Lake Estates Subdivision, which consists of 15 single-family residential lots on 66.10-acres that are zoned Agricultural (AG), Single-Family Estate 2.0 (SFE-2.0), and Single-Family Estates 4.0 (SFE-4.0) Districts; and, [3] the Oaks of Buffalo Way Subdivision, which consists of 65 single-family residential lots on 117.63-acres that are zoned Single-Family Estate 1.5 (SFE-1.5) District. Also, east of the subject property is FM-549, which is identified as a TXDOT4D (i.e. Texas Department of Transportation [TXDOT], four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are the following subdivisions: [1] the Hickory Ridge Subdivision, which consists of 544 single-family residential lots on 191.83-acres that are zoned Planned Development District 10 (PD-10) for Single-Family 6 (SF-6), Single-Family 7 (SF-7) and Single-Family 8.4 (SF-8.4) District land uses; and, [2] the Lake Rockwall Estates East Subdivision, which consists of 638 single-family residential lots on 156.99-acres that are zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses.

Continued on Next Page ...

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 536.42-acre subject property will incorporate *commercial* and *residential* land uses. This includes ~41.00-acres of land dedicated to limited General Retail (GR) District land uses and ~495.42-acres of land consisting of 885 residential lots, two (2) public parks, private open space, two (2) amenities centers, and a proposed water tower site. The proposed 885 single-family residential lots will consist of seven (7) lot types: [1] 12 Type 'A' lots that are a minimum of 185' x 200' or a minimum of 65,340 SF, [2] 13 Type 'B' lots that are a minimum of 185' x 200' or a minimum of 43,560 SF, [3] 18 Type 'C' lots that are a minimum of 120' x 200' or a minimum of 32,670 SF, [4] 66 Type 'D' lots that are a minimum of 100' x 150' or a minimum of 12,000 SF, [5] 168 Type 'E' lots that are a minimum of 82' x 125' or a minimum of 9,600 SF, [6] 339 Type 'F' lots that are a minimum of 72' x 125' or a minimum of 8,640 SF, and [7] 269 Type 'G' lots that are a minimum of 62' x 125' or a minimum of 7,440 SF. This translates to a gross density of 1.65 dwelling units per gross acre for the total development (*i.e. 1.78 dwelling units per acre less the ~41.00-acre tract of land designated for limited General Retail [GR] District land uses*). The minimum dwelling unit size (*i.e. air-condition space*) will range from 2,750 SF to 3,500 SF. With regard to the proposed housing product, staff has incorporated the upgraded anti-monotony standards and masonry requirements into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 100.00% masonry; however, the Planned Development District ordinance will also incorporate provisions that allow up to 80.00% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a more *Traditional Neighborhood Design* product (*also referred to as Gingerbread -- similar to what is allowed in the Somerset Park Subdivision*). The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS (#)	DWELLING UNITS (%)
A	185' x 200'	65,340 SF	12	01.36%
B	185' x 200'	43,560 SF	13	01.47%
C	120' x 200'	32,670 SF	18	02.03%

D	100' x 150'	12,000 SF	66	07.46%
E	82' x 125'	9,600 SF	168	18.98%
F	72' x 125'	8,640 SF	339	38.31%
G	62' x 120'	7,440 SF	269	30.40%
			885	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

LOT TYPE (SEE CONCEPT PLAN) ►	A	B	C	D	E	F	G
MINIMUM LOT WIDTH ⁽¹⁾	185'	185'	120'	100'	82'	72'	62'
MINIMUM LOT DEPTH	200'	200'	200'	150'	125'	125'	125'
MINIMUM LOT AREA (SF)	65,340	43,560	32,670	12,000	9,600	8,640	7,440
MINIMUM FRONT YARD SETBACK ^{(2), (5) & (6)}	30'	30'	30'	30'	20'	20'	20'
MINIMUM SIDE YARD SETBACK	15'	15'	15'	10'	6'	6'	6'
MINIMUM SIDE YARD SETBACK (ADJACENT TO A STREET)	15'	15'	15'	15'	15'	15'	15'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT ⁽⁸⁾	20'	20'	20'	20'	20'	20'	20'
MAXIMUM HEIGHT ⁽³⁾	35'	35'	35'	35'	35'	35'	35'
MINIMUM REAR YARD SETBACK ⁽⁴⁾	30'	30'	30'	10'	10'	10'	10'
MINIMUM AREA/DWELLING UNIT (SF) ⁽⁷⁾	3,500	3,500	3,200	3,200	2,800	2,800	2,750
MAXIMUM LOT COVERAGE	40%	40%	50%	50%	65%	65%	65%
MINIMUM GARAGE PARKING SPACES	3	3	3	3	3	3	2

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AND THE REAR LOT WIDTH REDUCED BY TEN (10) PERCENT AS MEASURED AT THE FRONT OR REAR PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE FRONT YARD AND REAR YARD BUILDING SETBACK. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN TABLE 1.
- 2: THE LOCATION OF THE FRONT YARD BUILDING SETBACK AS MEASURED FROM THE FRONT PROPERTY LINE. FOR CORNER LOTS, THE FRONT YARD BUILDING SETBACK SHALL BE APPLIED TO ALL PROPERTY LINES THAT HAVE FRONTAGE ON A PUBLIC STREET. KEYSTONE LOTS (I.E. CORNER LOTS THAT SHARE A REAR YARD WITH THE SIDE YARD OF ANOTHER PROPERTY) SHALL BE REQUIRED TO HAVE THE FENCING AT OR BEHIND THE FRONT YARD BUILDING SETBACK.
- 3: THE MAXIMUM HEIGHT SHALL BE MEASURED TO THE EAVE OR TOP PLATE (WHICHEVER IS GREATER) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE REAR YARD BUILDING SETBACK AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE FRONT YARD BUILDING SETBACK BY UP TO TEN (10) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON SIDE YARD SETBACKS. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: J-SWING OR TRADITIONAL SWING GARAGES ARE PERMITTED TO ENCROACH INTO THE FRONT YARD BUILDING SETBACK A MAXIMUM OF FIVE (5) FEET.
- 7: AIR-CONDITIONED SPACE.
- 8: NO DRIVE APPROACH FOR A RESIDENTIAL LOT SHALL BE SITUATED TO ALLOW ACCESS ON A COLLECTOR OR ARTERIAL ROADWAY EXCEPT AS OTHERWISE DEPICTED ON THE CONCEPT PLAN FOR THE TWO (2) LOTS FRONTING ON MERCER'S COLONY AVENUE.

The proposed concept plan shows that the development will consist of 65.78-acres of private open space, 6.40-acres of amenity centers (which includes two [2] amenity centers), a 1.97-acre site for a future City water tower, and the proposed two (2) public parks consisting of 33.00-acres. This -- with the 79.85-acres of floodplain -- represents a total of 187.00-acres of open space, which translates to 27.42% (i.e. [79.85-acres of floodplain/2] + 65.78 + 5.14 + 2.39 + 37.69 = 147.075-acres/536.42-acres gross = 27.41788%) of the site being dedicated to open space/amenity. This exceeds the total required open space of 20.00% (or 107.28-acres) by 7.42% (or ~39.795-acres). In addition, the proposed development will incorporate a minimum of an 80-foot landscape buffer with a ten (10) foot meandering trail for all residential adjacency to John King Boulevard, SH-205, and FM-549. The concept plan also depicts the provision of an eight (8) foot trail system that will be provided throughout the development to connect the future residential lots with the private open spaces, public parks, and non-residential developments. Staff should also note that the applicant has consented to incorporating a 50-foot landscape buffer, with a berm, and solid living screen consisting of evergreen trees along Lofland Circle (i.e. adjacent to the Oaks of Buffalo Way Subdivision). All of these items have been included into the proposed Planned Development District ordinance and will be requirements of the proposed subdivision.

With regard to the proposed ~41.00-acres designated for limited General Retail (GR) District land uses, staff has identified all of the land uses within the General Retail (GR) District that would be inconsistent with residential adjacency and specifically prohibited these land uses in the Planned Development District ordinance. Staff has also incorporated language in the Planned Development District ordinance that requires a 50-foot landscape buffer with a minimum of a 48-inch berm and three

(3) tiered screening (i.e. [1] a row of small to mid-sized shrubs, [2] a row of large shrubs or accent trees, and [3] a row of canopy trees on 20-foot centers) to be situated between the commercial and residential land uses. Along SH-205, FM-549, and John King Boulevard a landscape buffer meeting the *General Overlay District Standards* has been required.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. All residential streets are required to be constructed to an R2 (i.e. residential, two [2] lane, undivided roadway) standard, which is a 29-foot back-to-back concrete street center within a 50-foot right-of-way with a five (5) foot concrete sidewalk on either side of the street. All residential streets are required to be curb and gutter. With regard to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the applicant will be required to construct the following:
 - (a) Mercers Colony Avenue. Mercers Colony Avenue is identified as a *Minor Collector*, which is a 41-foot back-to-back concrete street center within a 60-foot right-of-way with a minimum of a five (5) foot concrete sidewalks on either side of the street.
 - (b) Stableglen Drive. Stableglen Drive is identified as a *Minor Collector*, which is a 41-foot back-to-back concrete street center within a 60-foot right-of-way with a minimum of a five (5) foot concrete sidewalk constructed on either side of the roadway.
 - (c) Lofland Circle. Lofland Circle is identified as a *Minor Collector*, which is a 41-foot back-to-back concrete street center within a 60-foot right-of-way with a minimum of a five (5) foot concrete sidewalk constructed on either side of the roadway. In this case, the applicant will be required to verify the right-of-way and dedicate any necessary right-of-way for the future roadway; however, since the proposed plan does not show access off of this roadway, no roadway improvements will be required. The applicant's trail plan does show a five (5) foot concrete sidewalk, which will be required to be constructed along the northern right-of-way line of this roadway.
 - (d) Unnamed Roadway Extending from SH-205 to the Future Extension of Lofland Circle (AKA the John King Extension). This unnamed roadway is identified as a *M4U (i.e. major collector, four [4] lane, divided roadway)*, which is a 45-foot back-to-back concrete street center within a 65-foot right-of-way with a minimum of a five (5) foot concrete sidewalk constructed on either side of the roadway.

All of these streets are required to be curb and gutter, and any medians are required to be curbed with the streets draining away from the medians. In addition to these roadways, the applicant will be required to perform a Traffic Impact Analysis (TIA) that is prepared in accordance with the requirements of the Engineering Department's *Design and Construction Manual*.

- (2) Water. The applicant shall submit for an *Infrastructure Study* to the City's water/wastewater consultant. At a minimum, the applicant will be required to loop an eight (8) inch water line on-site to the property lines, install a minimum 12-inch water line, and dedicate any necessary easements in accordance with the City's Master Water Plan and approved *Infrastructure Study*. Staff should note that the applicant has indicated on the concept plan the dedication of a ~2.39-acre *Water Tower Site*, which would be utilized as a future water tower site for the *780 Pressure Zone*. A corridor for the City of Heath's 24-inch water transmission line will also need to be provided and protected running north-south along the present-day alignment of Lofland Circle.
- (3) Wastewater. The applicant shall submit for an *Infrastructure Study* to the City's water/wastewater consultant. At a minimum, the applicant will need to install a minimum of an eight (8) inch and 12-inch sewer mains in accordance with the City's Wastewater Plan and the approved *Infrastructure Study*. In addition, a minimum eight (8) inch sewer line will need to extend through the site to the property lines. Any sewer pro-rata agreements will be assessed per acre, and shall be paid prior to construction.

(4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year localized floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the required detention study, and be situated outside the floodplain. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for any existing ponds on the subject property. Any changes to the existing floodplain will require approval from the Natural Resource Conservation Service (NRCS). All residential lots shall be exclusive of the erosion hazard setback and the floodplain.

CONFORMANCE TO THE CITY’S CODES

The proposed Planned Development District conforms to the majority of the City’s code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department’s *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department’s *Standards of Design and Construction Manual* stipulates that “(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete...” The code does grant the City Council the ability to “... waive the residential alley requirement, if it is in the best interest of the City.” [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street.”

Applicant’s Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 79.77% *J-Swing or Traditional Swing* garages (or a total of 706 Lots) and 20.23% *Flat Front Entry* garages (or a total of 179 Lots). In addition, the only lots that will incorporate the *Flat Front Entry* garage product will be the *Type ‘G’* lots (which are the 62’ x 125’ lot product). As a compensatory measure the applicant is proposing to: [1] set the garages back from the front façade a minimum of five (5) feet, and [2] provide additional architectural elements into all garage configurations in the form of decorative wood doors or wood overlays on insulated metal doors with carriage style hardware. In addition, the applicant has consented to increasing the front yard building setback on all *Flat Front Entry* garages from 20-feet to 25-feet. All of these compensatory measures conform with the guidelines of the OURHometown Vision 2040 Comprehensive Plan.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the South Central Residential District and the Southwest Residential District and is primarily designated for Low Density Residential land uses. The plan defines Low Density Residential land uses as “... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...” In addition, the Comprehensive Plan defines increased amenity as, “... developments that provide some of the following: (1) open space beyond the required 20%, (2) a golf course and/or other comparable recreation facilities, (3) amenity/recreation facilities, (4) school site integration, (5) dedication or development of park land beyond the required park land dedication, (6) additional development of trails, (7) other amenities deemed appropriate by the City Council.” In addition, according to Subsection 01.04, *Calculation of Density*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he calculation of allowable density for residential

TABLE 3: DENSITY CALCULATIONS FOR NET AND GROSS

<u>ACREAGE CALCULATIONS</u>	
DEVELOPABLE RESIDENTIAL ACREAGE	427.92
RESIDENTIAL FLOODPLAIN ACREAGE	67.50
DEVELOPABLE COMMERCIAL ACREAGE	28.65
COMMERCIAL FLOODPLAIN ACREAGE	12.35
GROSS ACREAGE	536.42
<hr/>	
TOTAL RESIDENTIAL LOTS	885
<hr/>	
<u>DENSITY CALCULATIONS</u>	
GROSS DENSITY	1.65
GROSS RESIDENTIAL DENSITY	1.79
NET DENSITY (1)	2.07

NOTES:

1: RESIDENTIAL DENSITY LESS FLOODPLAIN IN THE RESIDENTIALLY ZONED AREA

developments shall be based on the gross site area including right-of-way, floodplain, open space and public/private parks that will be dedicated to the City or preserved and maintained by some other mechanism.” In this case the applicant is proposing a total gross density of 1.65 dwelling units per acre [i.e. $885/536.42 = 1.64982$ or 1.65] (or a gross residential density of 1.79 dwelling units per gross acre less the ~41.00-acre tracts of land designated for limited General Retail [GR] District land uses). Based on this, the applicant’s request is in conformance with the required density for the Low Density Residential land use. Even though the gross density meets the requirements of the Comprehensive Plan, staff should point out that the applicant is proposing to provide two (2) amenities centers on 6.40-acres of land, dedicate two (2) public parks on 33.00-acres of land, dedicate a site for a future public water tower on 1.97-acres of land, provide 65.78-acres of private open space, and is providing an excess of 37.795-acres of open space beyond the 107.28-acres of required open space. In addition, the applicant is proposing to construct ten (10) foot trails along John King Boulevard and FM-549, and eight (8) foot trails internal to the site. This coupled with the ~41.00-acres of land -- 28.65-acres of which is developable -- dedicated to Commercial/Retail land uses, the applicant’s request does appear to be substantially in compliance with the criteria for increased amenity and a mix of land uses.

As previously stated, the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan designates the majority of the subject property for Low Density Residential land uses; however, there are areas adjacent to the intersection of John King Boulevard and S. Goliad Street [SH-205] that are designated for Commercial/Retail land uses. Currently, the concept plan only shows ~41.00-acres of land in this area that will be designated for limited General Retail (GR) District land uses. This represents a reduction of ~37.40-acres in the area designated for Commercial/Retail land uses. This reduction will require the City Council to change the Future Land Use Plan from the Commercial/Retail land use designation to a Low Density Residential land use designation. The proposed change in the Future Land Use Plan is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Looking at the pertinent *District Strategies* for the South Central Residential District (i.e. the portion of the proposed development northeast of S. Goliad Street [SH-205]) and how the proposed concept plan conforms to these strategies, staff identified the following:

- (1) Suburban Residential. This *District* has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern *Districts*. These developments should include a mix of larger to mid-sized lots.

Staff Response: The submitted PD Standards include language that allows for the incorporation of Traditional Neighborhood Design (TND) principles; however, the ordinance does not require these standards and leaves it open to completely exclude this product type. This is an important aspect of the *District Strategies* and was implemented in the adjacent development (i.e. the *Somerset Park Subdivision*). In addition, the proposed 62' x 125' and 72' x 125' lots (i.e. Lot Types 'E' & 'F') -- which are the predominate lot types at 76.22% of all lots in Phases 1, 2 & 3 -- are not considered to be a mix of larger to mid-sized lots. Based on this the proposed concept plan does not appear to conform with this *District Strategy*.

- (2) Commercial Land Uses. Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.

Staff Response: The concept plan provided by the applicant does show changes to how the *Commercial/Retail* areas are laid out in the Future Land Use Map; however, the changes appear to be nominal in nature, and the applicant’s request does appear to conform with this *District Strategy*.

- (3) John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'A'* of this Comprehensive Plan.

Staff Response: The *District Strategies Map* for the *South Central Residential District* shows that a *Rest Stop/Trailblazer Pylon* element is designated for the southeast corner of the future intersection of Mercers Colony Avenue and John King Boulevard. The *Layout Plan* provided by the applicant shows that two (2) *Trail Stops/Rest Stops* will be provided (i.e. one [1] at the northeast corner of the intersection of John King Boulevard and Mercers Colony Avenue, and one [1] at the northwest corner of Lofland Circle and S. Goliad Street [SH-205]), and has provided an exhibit showing that a covered trail head with picnic table and seat wall will be provided for both locations. This appears to be in conformance with this *District Strategy*.

Looking at the pertinent *District Strategies* for the *Southwest Residential District* (i.e. the portion of the proposed development southwest of S. Goliad Street [SH-205]) and how the proposed concept plan conforms to these strategies, staff identified the following:

- (1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

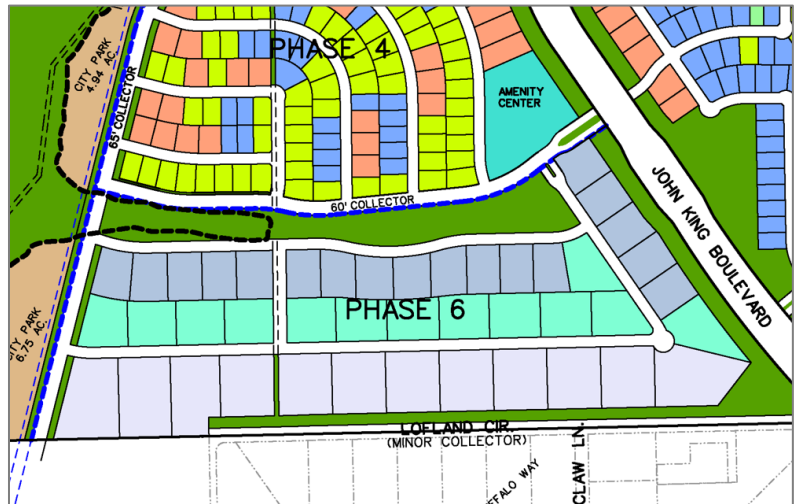


FIGURE 1. AREA ADJACENT TO OAKS OF BUFFALO WAY.

Staff Response: In this case, the Oaks of Buffalo Way Subdivision is composed of larger lots that are a minimum of 1½-acres in size or larger. The proposed transition provided by the applicant shows the same size lot product (i.e. Lot Type 'A') lining a street that runs parallel to Lofland Circle and the northern boundary of the Oaks of Buffalo Way Subdivision. This is followed by a one (1) acre lot product (i.e. Lot Type 'B') and a 0.75-acre lot product north of this (i.e. Lot Type 'C'). In addition, the applicant has incorporated a 50-foot landscape buffer along Lofland Circle that will incorporate additional landscaping. Based on this, the applicant's request is in conformance with this *District Strategy*.

With regard to the policies and goals for residential and commercial development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (e.g. *minimum of six [6] foot side yard setbacks on all lot types, 25-foot setback for front entry garages, etc.*); however, staff has identified the following non-conformities on the original concept plan and provided the following recommendations to the applicant:

- (1) CH. 1; Section 2.02; Goal #2 | Policy #3 (Page 1-2). Existing development patterns and surrounding conditions (e.g. *lot size, architectural style, public improvements, etc.*) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.

Staff Response: The proposed concept plan appears to generally conform to the existing development patterns north of S. Goliad Street [SH-205] (i.e. adjacent to the *Somerset Park* and *Fontana Ranch Subdivisions*) and adjacent to the *Lake Rockwall Estates Subdivision*; however, better requirements for *Traditional Neighborhood Design (TND)* housing product should be incorporated north of S. Goliad Street [SH-205] to match the style of the homes established in the *Somerset Park Subdivision*. Based on this there are aspects of the applicant's proposal that conform to this goal; however, it cannot be considered to be completely conforming because the transition between the *Somerset Park Subdivision* and the proposed subdivision will be apparent considering the architectural styles.

Staff's Recommendation to the Applicant: Requirements stipulating that *Traditional Neighborhood Design (TND)* housing product be incorporated north of S. Goliad Street [SH-205] would better conform with the existing *Somerset Park Subdivision*.

- (2) *CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3)*. To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: In this case, the applicant's design incorporates homes that both side and back to the proposed public parks and open space. There are some areas where the applicant has included lots that are single-loaded on a street and in which the future home would front towards the proposed open space areas; however, this is not the norm throughout the development. Based on this, the proposed concept plan appears to only partially conform to this goal.

Staff's Recommendation to the Applicant: A majority of the lots in the proposed development should front to open space as opposed to side or back to open space.

- (3) *CH. 08 | Sec. 02.02 | Goal 01; Policy 4*: Developments should be encouraged to provide a mixture of lot sizes throughout each phase to ensure that maximum value accrues for all properties. This is particularly important in developments that propose clusters of smaller lots.

Staff Response: Homogenous pods of lots should be avoided except where called for by the Comprehensive Plan (e.g. *smaller lots fronting on to parks and larger lots being arranged towards the outside of the development*). The applicant has provided changes to mix lot types throughout various phases. There does remain a homogenous pod of the *Type 'A', 'B' & 'C' Lots* adjacent to the Oaks of Buffalo Way Subdivision; however, the applicant has stated that this is to provide a transition of lots from the subdivision into the proposed development. It should also be pointed out that the lots north of John King Boulevard tend to only consist of the *Types 'D', 'E', 'F' & 'G' Lots*, and *Types 'F' & 'G'* are primarily the smaller lot types.

Staff's Recommendation to the Applicant: Change the concept plan to better mix more the of the *Lot Types* throughout all phases of the proposed development.

Taking into account the applicant's concept plan and other submitted exhibits, the proposed density, and the development standards, the request does appear to be in conformance with the majority of the goals and policies of the OURHometown Vision 2040 Comprehensive Plan and the development standards of the Unified Development Code (UDC); however, the changes to the Future Land Use Map, and the nature of this Planned Development District makes this request a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On September 17, 2024, staff mailed 551 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Hickory Ridge, Hickory Ridge East, Lofland Farms, Fontanna Ranch, and the Oaks of Buffalo Way Homeowner's Associations (HOAs), which are the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 48 responses from property owners inside the City limits. These responses were as follows:

- (1) Three (3) response from three (3) property owners within the 500-foot notification buffer in favor of the applicant's request.
- (2) 14 responses from 12 property owners within the 500-foot notification buffer opposed to the applicant's request.
- (3) One (1) response from one (1) property owner outside the 500-foot notification buffer in favor of the applicant's request.
- (4) 30 responses from 28 property owners outside the 500-foot notification buffer opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) By approving this Zoning Change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of ~37.40-acre tracts of land from a Commercial/Retail designation to a Low Density Residential designation.
- (3) Stable Glen Drive shall be a divided roadway that matches the existing divided roadway section established with the Somerset Park Subdivision.
- (4) A *PD Development Plan* for the ~41.00-acre tracts of *Commercial* land will be required prior to site plan. This *PD Development Plan* will be required to delineate the required pedestrian connectivity between the *Residential* and *Commercial* land uses.
- (5) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE

PLANNING & ZONING CASE NO. **22021-048**

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS FM205, TX

SUBDIVISION W.H. Baird Survey, Ab. No. 25; A. Johnson Survey, Ab No. 123; J.R. Johnson Survey, Ab. No. 128 BLOCK

GENERAL LOCATION At Intersection of Goliad & S. John King Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District

PROPOSED USE Single Family, Commercial

ACREAGE 536.42

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER William Lofland

APPLICANT Michael Joyce Properties

CONTACT PERSON

CONTACT PERSON Ryan Joyce

ADDRESS 105 E. Kaufman Street

ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Lofland [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 8246.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11 DAY OF September, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

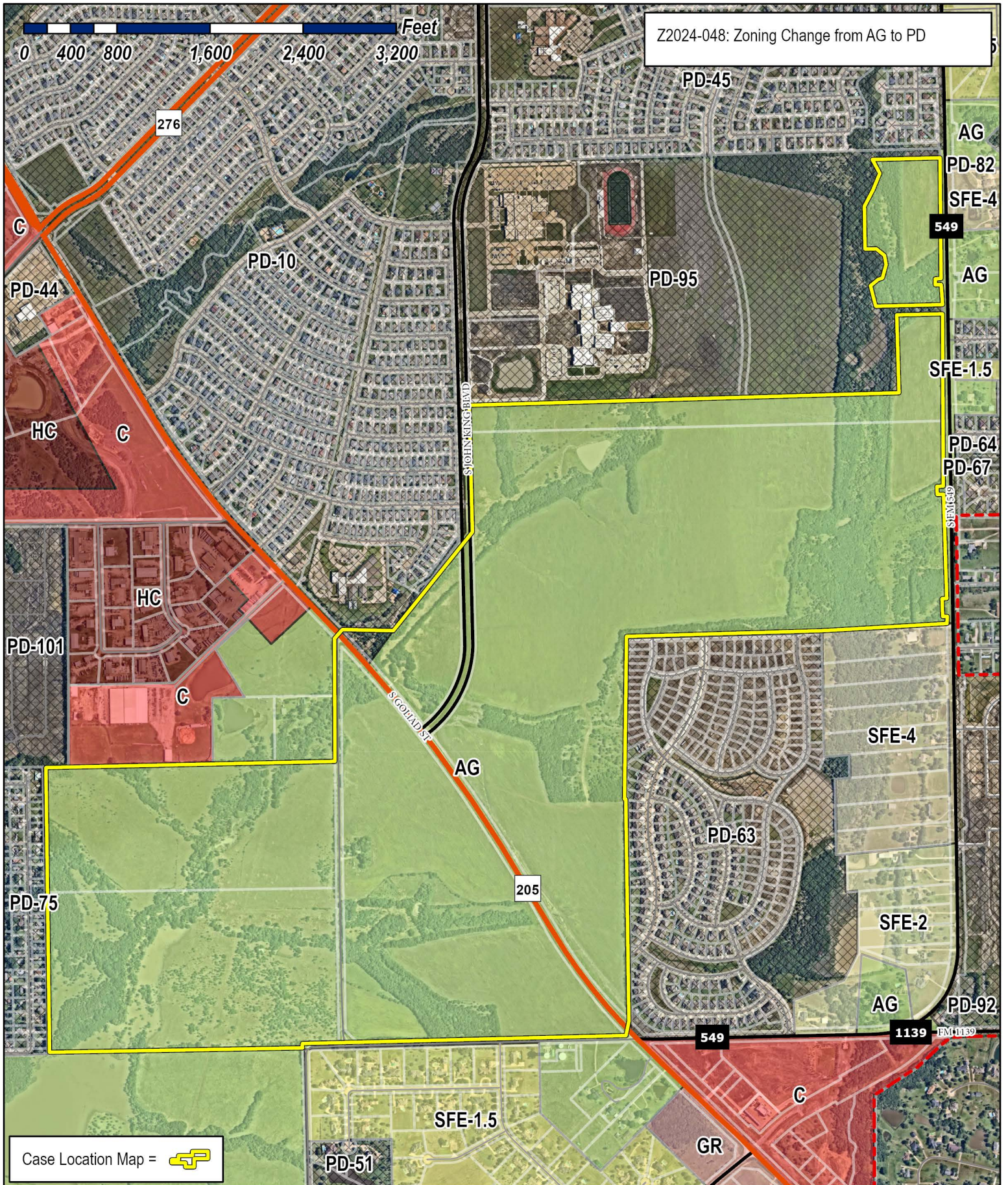
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2021


OWNER'S SIGNATURE *[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *[Signature]*



3/8/2025



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

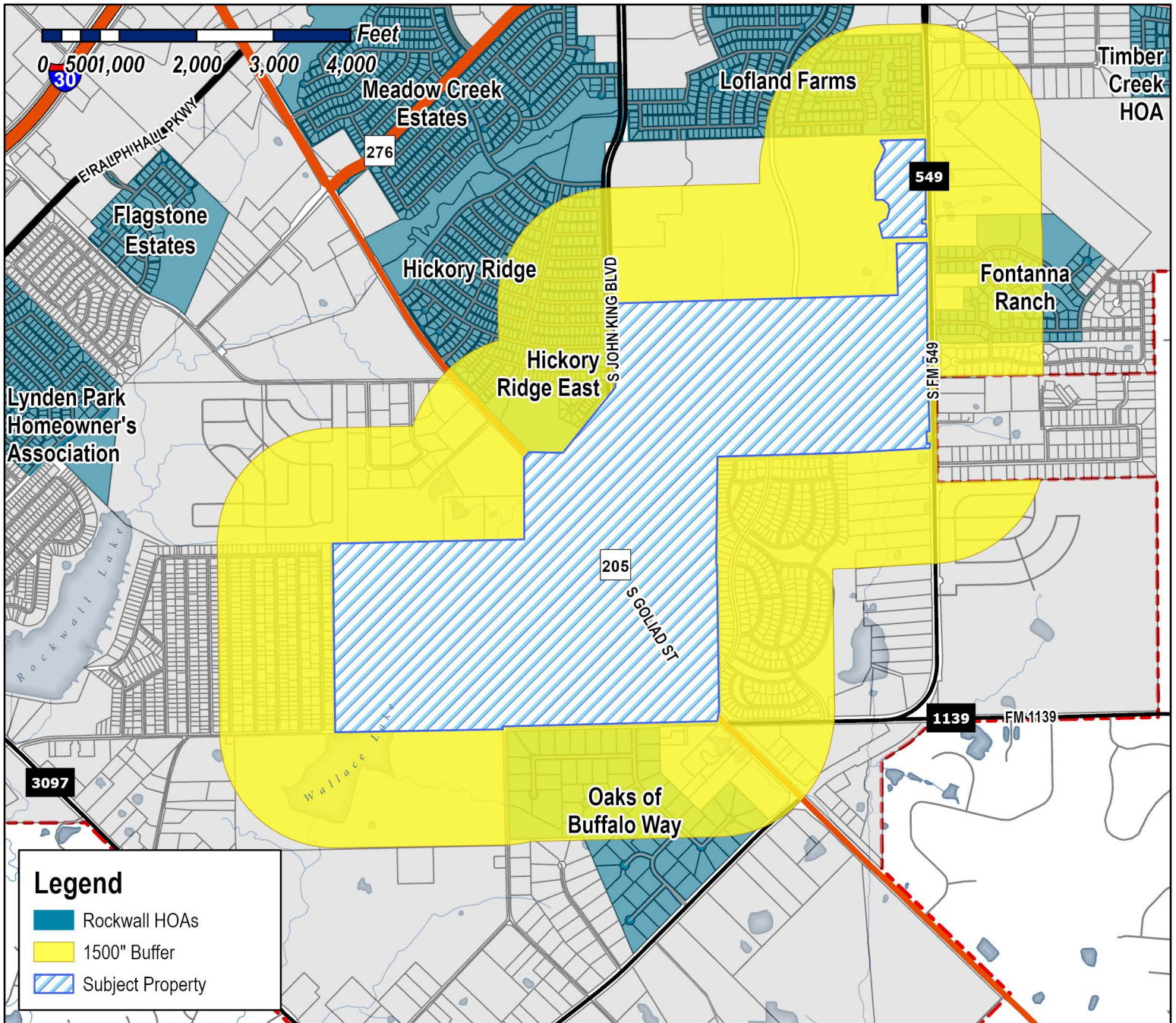




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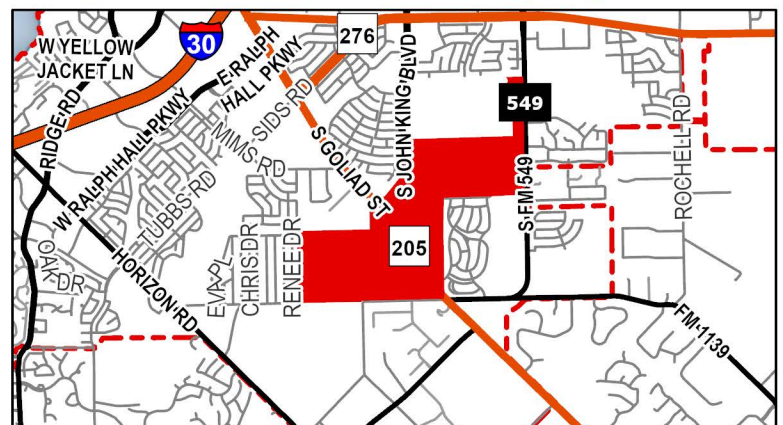


Legend

- Rockwall HOAs
- 1500" Buffer
- Subject Property

Case Number: Z2024-048
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 205

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-048]
Date: Wednesday, September 18, 2024 10:51:47 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(09.13.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-048: Zoning change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a [Zoning Change](#) from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Melanie Zavala

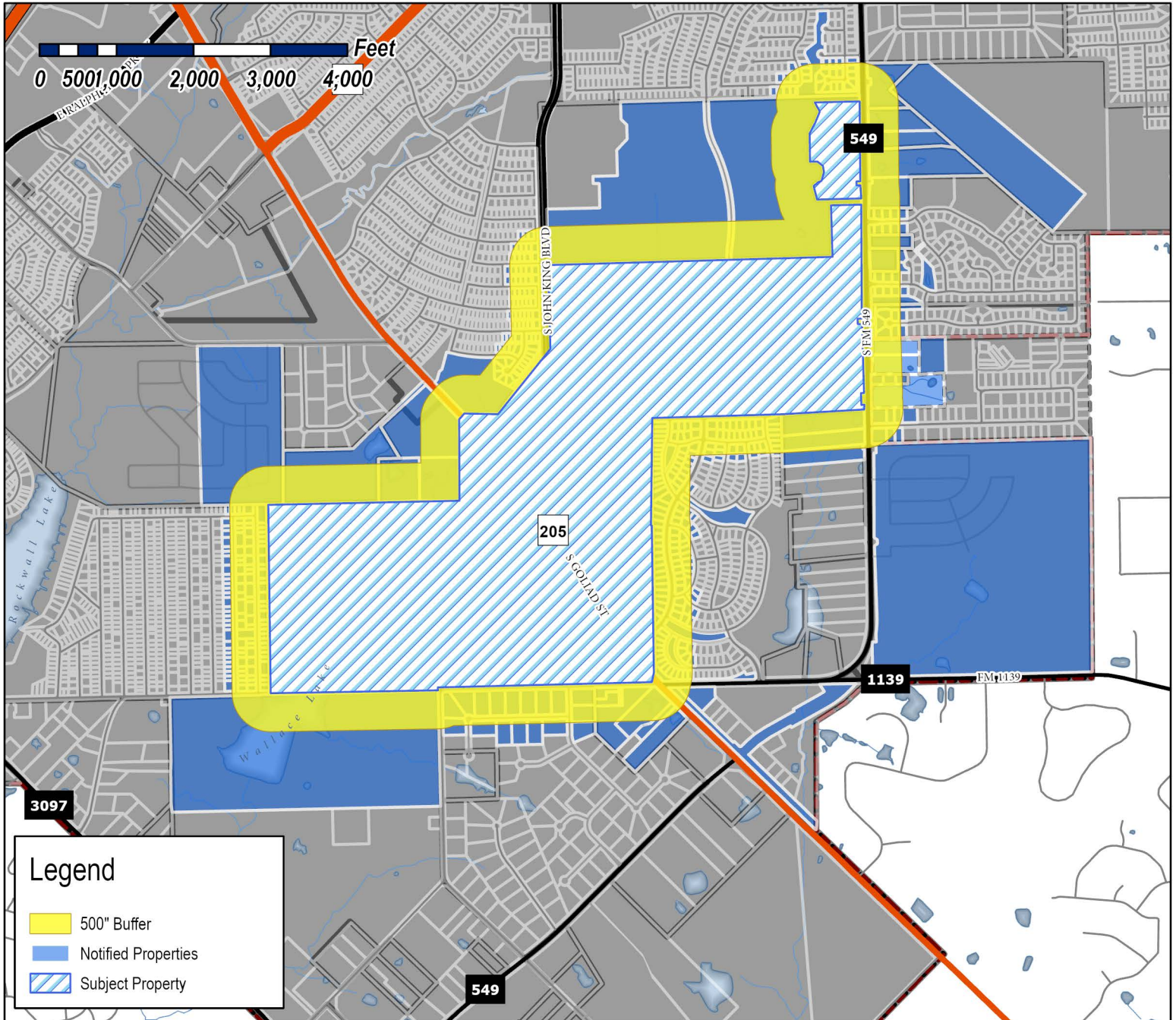
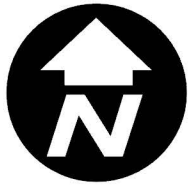
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

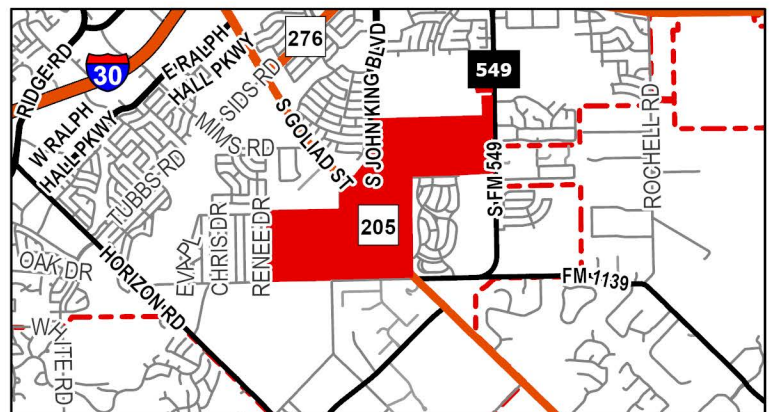
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Legend

- 500' Buffer
- Notified Properties
- Subject Property

Case Number: Z2024-048
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 205



Date Saved: 9/13/2024
 For Questions on this Case Call: (972) 771-7745

SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
414 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
400 RENEE RD
ROCKWALL, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

OCCUPANT
395 RENEE DR
ROCKWALL, TX 75032

PANTZAY MARVIN A FLORES AND
SULEIMA Y MONTERROSO
111 NICOLE DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
118 RENEE DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 901

OCCUPANT
115 RENEE DR
ROCKWALL, TX 75032

VASQUEZ FRANCISCO
125 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
130 RENEE DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 901

OCCUPANT
127 RENEE DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

JUNFA USA, LLC
910 MELISSA LN
GARLAND, TX 75040

OCCUPANT
137 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 901

OCCUPANT
139 RENEE DR
ROCKWALL, TX 75032

RUIZ SONIA
2009 WORCESTER LN
GARLAND, TX 75040

OCCUPANT
149 NICOLE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
233 RENEE DR
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
265 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
285 RENEE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
400 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO
398 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
208 NICOLE DR
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR
201 RENEE DRIVE
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
485 RENEE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
498 EVANS RD
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

MEDRANO CESAR AND ANDREA MARTINEZ
181 RENEE DR
ROCKWALL, TX 75032

NGUYEN ANNA
812 BLUFFCREEK LN APT 208
ARLINGTON, TX 76006

OCCUPANT
421 NICOLE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO AND ORALIA VARGAS
395 NICOLE DR
ROCKWALL, TX 75087

MCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS AND
JUANA DIAZ
1750 E FM 550
ROCKWALL, TX 75032

OCCUPANT
353 NICOLE DR
ROCKWALL, TX 75032

ESTRADA NOHEMA
705 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
283 NICOLE DR
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

CARMONA JOSE
194 RENEE DRIVE
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN
241 TROUT ST
ROCKWALL, TX 75032

OCCUPANT
250 RENEE DR
ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

OCCUPANT
496 NICOLE DR
ROCKWALL, TX 75032

RUIZ SONIA
2009 WORCESTER LN
GARLAND, TX 75040

OCCUPANT
159 NICOLE DR
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA
162 RENEE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
176 NICOLE DR
ROCKWALL, TX 75032

VASQUEZ JESUS
167 RENEE DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

VALDEZ EUSEBIO
505 EVANS DR
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
196 NICOLE DR
ROCKWALL, TX 75032

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

OCCUPANT
508 RENEE DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

OCCUPANT
433 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
344 COUNTY LINE RD
ROCKWALL, TX 75032

OCCUPANT
363 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

OCCUPANT
191 RENEE DR
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
302 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS NORMA
360 NICOLE DR
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR
201 RENEE DRIVE
ROCKWALL, TX 75032

OCCUPANT
211 RENEE DR
ROCKWALL, TX 75032

RIVERA DORIS MABEL
288 RENEE DR
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
358 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME B & MARTINA G
1209 QUAIL DR
GARLAND, TX 75040

OCCUPANT
386 RENEE DR
ROCKWALL, TX 75032

VERA MIGUEL & GUADALUPE
452 RENEE DR
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
383 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
408 NICOLE DR
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

TREJO CECILLIO
221 RENEE DR
ROCKWALL, TX 75032

SANCHEZ PABLO
248 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
250 NICOLE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
245 RENEE DR
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
274 NICOLE DR
ROCKWALL, TX 75032

DEBRA JEAN CRUZ TRUST
DEBRA JEAN CRUZ - TRUSTEE
262 RENEE DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
265 RENEE DR
ROCKWALL, TX 75032

CONTRERAS NORMA
360 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
372 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
482 NICOLE DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1070 N BEN PAYNE RD
ROCKWALL, TX 75087

OCCUPANT
466 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
463 RENEE DR
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
807 N JOSEPHINE ST
ROYSE CITY, TX 75189

OCCUPANT
452 EVANS RD
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

OCCUPANT
464 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
486 EVANS RD
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

XU ZICAI
4509 PORTRAIT LANE
PLANO, TX 75024

OCCUPANT
471 NICOLE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
164 NICOLE DR
ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND
ERIKA J MOLINA-OLVERA
548 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
526 NICOLE DR
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

OCCUPANT
441 NICOLE DR
ROCKWALL, TX 75032

LOPEZ SILVIA
430 RENEE DR
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

OCCUPANT
431 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
470 NICOLE DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
503 RENEE DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

OCCUPANT
535 NICOLE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

OCCUPANT
520 RENEE DR
ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC
10527 CHURCH RD # 201
DALLAS, TX 75238

OCCUPANT
116 NICOLE DR
ROCKWALL, TX 75032

MARTINEZ RONALD W GOMEZ AND PAOLA I
CASTILLO
424 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
448 NICOLE DR
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE DR
ROCKWALL, TX 75032

SRP SUB LLC
1717 MAIN ST SUITE 2000
DALLAS, TX 75201

OCCUPANT
3112 LIMESTONE HILL LN
ROCKWALL, TX 75032

THOMPSON LISA
3078 DEER RIDGE DR
ROCKWALL, TX 75032

MONTEZON CECILE & DENNIS
3081 COOLWOOD LANE
ROCKWALL, TX 75032

BEDDER MANAGEMENT AUSTIN LLC
9901 BRODIE LANE SUITE 160-172
AUSTIN, TX 78748

OCCUPANT
3089 COOLWOOD LN
ROCKWALL, TX 75032

MANKUS STEPHEN & SUSAN
7401 RODEO DR
DENTON, TX 76208

OCCUPANT
3097 COOLWOOD LN
ROCKWALL, TX 75032

OCHOA RENE
3107 COOLWOOD LANE
ROCKWALL, TX 75032

ROJAS AMITAY HUERTA AND SORANGEL PEREZ
PARADA
3132 COOLWOOD LN
ROCKWALL, TX 75032

VARGAS JOSE A
3124 COOLWOOD LN
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

OCCUPANT
3116 COOLWOOD LN
ROCKWALL, TX 75032

SLATTER SARAH KIMBERLY
3100 COOLWOOD LN
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

OCCUPANT
3092 COOLWOOD LN
ROCKWALL, TX 75032

ROCK RANDALL L
1704 ASBURY DR
WYLIE, TX 75098

OCCUPANT
2741 MASSEY LN
ROCKWALL, TX 75032

STANDIFER JEREMY B & KATHRYN
2771 MASSEY LN
ROCKWALL, TX 75032

BASWELL KEVIN T & SUZANN J
1715 S FM 549
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

WANG EILEEN HONGLIAN &
HAWKINS HAOHAI YAO
5887 KILLARNEY CIR
SAN JOSE, CA 95138

OCCUPANT
2861 DEUTZ CT
ROCKWALL, TX 75032

PAXTON CLAUDIA
2750 MASSEY LN
ROCKWALL, TX 75032

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

OCCUPANT
3071 FALLBROOK DR
ROCKWALL, TX 75032

COVINGTON TEVIN TYLER
3469 POST OAK DRIVE
ROCKWALL, TX 75032

OROZCO ARMANDO
3465 POST OAK DR
ROCKWALL, TX 75032

RISTER JOHN & CHRISTINE
4815 BEAR CLAW LANE
ROCKWALL, TX 75032

SHAH MURTAZA M AND MARIA E
4755 BEAR CLAW LANE
ROCKWALL, TX 75032

CURTIS CHRISTOPHER LEE AND
BERT G CURTIS & PAMELA S CURTIS
4735 BEAR CLAW LANE
ROCKWALL, TX 75032

ZAZAKIS LAURA J AND JOHN
3014 WIMBERLEY LANE
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

POUNDS PAMELA AND PAUL B
3010 FONTANNA BLVD
ROCKWALL, TX 75032

LOESCH RICHARD C & LISA
3012 FONTANNA BOULEVARD
ROCKWALL, TX 75032

RAYSON BRIAN CHRISTOPHER & MISTY MICHELE
3014 FONTANA BOULEVARD
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

ANDERSON ERICKA RENEE
3442 POST OAK DR
ROCKWALL, TX 75032

CANO LORENZO E & BRENDA L
3055 FALLBROOK DR
ROCKWALL, TX 75032

PROGRESS RESIDENTIAL BORROWER 4 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

OCCUPANT
3129 COOLWOOD LN
ROCKWALL, TX 75032

ROBINSON JEREMY A
10012 TISBURY DR
FRISCO, TX 75035

OCCUPANT
3137 COOLWOOD LN
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

VILLA CORNELIO & ESTHER
3062 FALLBROOK DR
ROCKWALL, TX 75032

MADRID AYDEE E
3070 FALLBROOK DR
ROCKWALL, TX 75032

LAU VIVIAN SO FAN AND
RUSSELL THETU LY
131 W SANTA ANITA TERRACE
ARCADIA, CA 91007

OCCUPANT
3078 FALLBROOK DR
ROCKWALL, TX 75032

REIDLINGER CALEB R & SARA D
3090 FALLBROOK DR
ROCKWALL, TX 75032

HENSON RICHARD W & SHARON ES
PO BOX 1091
ROCKWALL, TX 75087

OCCUPANT
2424 FM549
ROCKWALL, TX 75032

STRANG DANIEL EDWARD AND SUSANNE LEIGH
3158 LUCHENBACK TRL
ROCKWALL, TX 75032

SIMMONS COLTON D AND DANIELLE
3016 FONTANNA DR
ROCKWALL, TX 75032

SAGNIBENE JOE AND LISA
3162 LUCKENBACH TRAIL
ROCKWALL, TX 75032

THOMPSON WILLIAM AND KATHY
3013 WIMBERLEY LN
ROCKWALL, TX 75087

DUNN DAVID IRVIN II
2841 HAYMAKER DR
ROCKWALL, TX 75032

WONG IU YAM IRENE
36-38 GLENWOOD AVE
PITTSFIELD, MA 0

OCCUPANT
2851 HAYMAKER DR
ROCKWALL, TX 75032

WARREN MICHAEL & RENEE
2861 HAYMAKER DR
ROCKWALL, TX 75032

TURNER CALEB MAURICE
3015 FONTANNA BLVD
ROCKWALL, TX 75032

THEKEN JAMES JR AND JACQUELINE
3013 FONTANA BLVD
ROCKWALL, TX 75032

CHISHOLM JILL MARIE
3011 FONTANA BLVD
ROCKWALL, TX 75032

VITAR RODOLFO AND IRMA
3009 FONTANA BOULEVARD
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

OCCUPANT
3875 SELBORNE DR
ROCKWALL, TX 75032

WOOLDRIDGE KATHERINE W
2150 GLEANER DR
ROCKWALL, TX 75032

MEJIA SERGIO
2140 GLEANER DR
ROCKWALL, TX 75032

DOWNUM CHRIS D & JULIE W
2130 GLEANER DR
ROCKWALL, TX 75032

NICKERSON TERENCE & DOROTHIA
3061 DUSTY RIDGE DR
ROCKWALL, TX 75032

GARCIA ROBERT & GLENDA
2760 MASSEY LN
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

OCCUPANT
2751 MASSEY LN
ROCKWALL, TX 75032

LAFLEUR SIEGEN
2761 MASSEY LANE
ROCKWALL, TX 75032

MUENKS RUSSELL JOHN
2771 MCCORMICK CT
ROCKWALL, TX 75032

SULLIVAN BRANDI KATHERINE
2770 MASSEY LN
ROCKWALL, TX 75032

ML VENTURES, LLC
7908 BOULDER RIVER TRAIL
MCKINNEY, TX 75070

OCCUPANT
2850 DEUTZ CT
ROCKWALL, TX 75032

DUNAWAY LORI J
2860 DEUTZ COURT
ROCKWALL, TX 75032

SERCY WILLIAM CHARLES AND
NORMAN WAYNE SERCY AND MARSHA MARIE
SERCY
2851 DEUTZ CT
ROCKWALL, TX 75032

FOWLER KATELIN
2871 DEUTZ COURT
ROCKWALL, TX 75032

DUNK DAWNETTA M VAN
2140 NEW HOLLAND DR
ROCKWALL, TX 75032

CAVETT DEBRA
2130 NEW HOLLAND DR
ROCKWALL, TX 75032

WHITTERN STEVEN B & JERALYN LOUISE
2841 DEUTZ CT
ROCKWALL, TX 75032

GAINOUS LESLIE III AND
ERICA ESCOBAR
2110 NEW HOLLAND DRIVE
ROCKWALL, TX 75032

RETTMAN KRISTIE
2830 DEUTZ COURT
ROCKWALL, TX 75032

CULBERTSON JACK NEAL
3046 DUSTY RIDGE DR
ROCKWALL, TX 75032

COLE LAURA & OMODAMWEN
3090 DUSTY RIDGE DR
ROCKWALL, TX 75032

GARNER AMY
3105 MISTY RIDGE LN
ROCKWALL, TX 75032

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

OCCUPANT
3108 MISTY RIDGE LN
ROCKWALL, TX 75032

SFR JV-2 2023-1 BORROWER LLC
15771 RED HILL AVE STE 100
TUSTIN, CA 92780

OCCUPANT
3116 MISTY RIDGE LN
ROCKWALL, TX 75032

MAH JEFFERY
305 BLANCO CIR
SOUTHLAKE, TX 76092

OCCUPANT
3124 MISTY RIDGE LN
ROCKWALL, TX 75032

JDS & BHK PROPERTY MANAGEMENT FIRM LP
105 CLIPPER COURT
ROCKWALL, TX 75032

OCCUPANT
3092 MISTY RIDGE LN
ROCKWALL, TX 75032

CHOKHAWALA AMAR AND SIMABEN V SHAH
3102 LIMESTONE HILL LN
ROCKWALL, TX 75032

ROMERO ANA L AND MARIO ROMERO CEDANO
3067 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

POWERS JUSTIN D
PO BOX 850
ROCKWALL, TX 75087

OCCUPANT
3079 DUSTY RIDGE DR
ROCKWALL, TX 75032

STEWART RUDOLPH & BETTY
3073 DUSTY RIDGE DR
ROCKWALL, TX 75032

SNYDER STACY & CHARLES
2840 DEUTZ CT
ROCKWALL, TX 75032

INGRAM JAMES KENDELL
1957 S FM 549
ROCKWALL, TX 75032

RODRIGUEZ EVANGELINA PARRA & KRYSTAL
MARIE RODRIGUEZ
2601 PATRICIA LN
GARLAND, TX 75041

OCCUPANT
1791 FM549
ROCKWALL, TX 75032

WALKER JANICE L
1777 FM 549
ROCKWALL, TX 75032

INGRAM JAMES KENDELL
1957 S FM 549
ROCKWALL, TX 75032

OCCUPANT
1925 FM549
ROCKWALL, TX 75032

TERMINI EUGENE D & BONNIE
1851 S FM 549
ROCKWALL, TX 75032

DICHARD CHRIS E
1903 FM 549
ROCKWALL, TX 75032

SHOMETTE WILLIAM TODD AND KERRI PARSONS
3012 WIMBERLEY LN
ROCKWALL, TX 75032

GODWIN JULIE AND BOBBY
3112 SAN MARCOS
ROCKWALL, TX 75032

OCCUPANT
2120 NEW HOLLAND DR
ROCKWALL, TX 75032

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

GILMORE TODD AND TIFFANY
2831 DUETZ CT
ROCKWALL, TX 75032

MENDOZA MIGUEL
3410 POST OAK DR
ROCKWALL, TX 75032

SWAIT TIFFANY
3402 POST OAK DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
, 0

FOX PATRICK AND MEGAN
3119 COOLWOOD LANE
ROCKWALL, TX 75032

BURNS A STACEY
3070 DEER RUDGE DR
ROCKWALL, TX 75032

ZENDEJAS JUAN & YOLANDA AYALA
3087 DUSTY RIDGE DR
ROCKWALL, TX 75032

WARNELL DONALD L AND MARIA D
3009 WIMBERLEY LN
ROCKWALL, TX 75032

PARKER LYNN TERRY
3015 WIMBERLEY LN
ROCKWALL, TX 75032

PEARSON GREGORY AND VICKI
1920 BROKEN LANCE LANE
ROCKWALL, TX 75032

DELK GREGORY S AND SANDRA G
2020 BROKEN LANCE LN
ROCKWALL, TX 75032

CURTIS PAMELA
2040 BROKEN LANCE LN
ROCKWALL, TX 75032

DAWA DAWA AND
TENZIN LHAMO
3011 WIMBERLEY LANE
ROCKWALL, TX 75032

BATSON NICHOLAS AND JESSIE
3010 WIMBERLEY LANE
ROCKWALL, TX 75032

ROCKWALL I S D
3025 LIMESTONE HILL LN
ROCKWALL, TX 75032

CITY OF ROCKWALL
, 0

PALMA MAYRA A & YOVANI D
3087 FALLBROOK DR
ROCKWALL, TX 75032

BAYOUD JENNIFER
940 COTTON DEPOT LN APT 440
FT WORTH, TX 76102

OCCUPANT
3079 FALLBROOK DR
ROCKWALL, TX 75032

TAN JUDY AND
LAM KHANG DUY
914 FALCON TRAIL
MURPHY, TX 75094

OCCUPANT
3054 FALLBROOK DR
ROCKWALL, TX 75032

CARRANZA LUCY
3087 DEER RIDGE DR
ROCKWALL, TX 75032

WESSON LAURIE K
3079 DEER RIDGE DR
ROCKWALL, TX 75032

FORT PHILLIP D & TYRA W
3071 DEER RIDGE DR
ROCKWALL, TX 75032

CRESPIN DEBRA
3063 DEER RIDGE DR.
ROCKWALL, TX 75032

TOWNSEND NINA
3084 MISTY RIDGE LN
ROCKWALL, TX 75032

CARRANZA GILBERTO E
3078 DUSTY RIDGE DR
ROCKWALL, TX 75032

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

OCCUPANT
3450 POST OAK DR
ROCKWALL, TX 75032

USCMF SN TEXAS A LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

OCCUPANT
3047 FALLBROOK DR

HP TEXAS I LLC
120 SOUTH REIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

OCCUPANT
3418 POST OAK DR
ROCKWALL, TX 75032

MCWHORTER RODNEY & VICKIE
3062 DEER RIDGE DR
ROCKWALL, TX 75032

RODRIGUEZ BRIAN
8 BROOKWAY CT
MANSFIELD, TX 76063

OCCUPANT
3078 LIMESTONE HILL LN
ROCKWALL, TX 75032

CEVALLOS JASON & MARY
3086 LIMESTONE HILL LN
ROCKWALL, TX 75032

DENNIS AMY L
3094 LIMESTONE HILL LN
ROCKWALL, TX 75032

BADER MARKUS AND KIMBERLY
1940 BROKEN LANCE LN
ROCKWALL, TX 75032

PODLESKI GREGG T & MARIANNE
1950 BROKEN LANCE LN
ROCKWALL, TX 75032

WILKINSON RICHARD S
1970 BROKEN LANCE LANE
ROCKWALL, TX 75032

TSIC ASSOCIATES HOLDINGS TRUST
350 MEADOW GATE RD
MEADOW VISTA, CA 95722

OCCUPANT
1990 BROKEN LANCE LN
ROCKWALL, TX 75032

TATE ERIN ELIZABETH
3063 FALLBROOK DR
ROCKWALL, TX 75032

LEWIS REX STEPHEN
3473 POST OAK DR
ROCKWALL, TX 75032

TERRELL JUSTIN C & DESIREE N
3476 POST OAK DRIVE
ROCKWALL, TX 75032

MILLAN TRESSO & LEODEGARIA
3472 POST OAK DR
ROCKWALL, TX 75032

BAKER ALEXANDER AND
ARTEMIS LI
2045 BROKEN LANCE LN
ROCKWALL, TX 75032

HOOVER WILLIAM A AND TAMMY
2025 BROKEN LANCE LANE
ROCKWALL, TX 75032

MOORE JAMES S AND KATRINA D
2005 BROKEN LANCE LANE
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

KILPATRICK KERRY LYNN & JENNY LYNN
3125 MISTY RIDGE LN
ROCKWALL, TX 75032

CALDERON DAVID & MARIBEL
3117 MISTY RIDGE LANE
ROCKWALL, TX 75032

KRANTZ BRIAN K & KATHERINE A
3434 POST OAK DRIVE
ROCKWALL, TX 75032

WOODWARD CHERIE J
3426 POST OAK DR
ROCKWALL, TX 75032

REGGIA DANIELLE R
3100 MISTY RIDGE LN
ROCKWALL, TX 75032

TUGGLE JERRY R & KATHRYN M
3070 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

W2 CATTLE INVESTMENTS LLC
C/O RANDY PARDUE
508 TWILIGHT TRAIL SUITE 99
RICHARDSON, TX 75080

OCCUPANT
3062 DUSTY RIDGE DR
ROCKWALL, TX 75032

KANAK INVESTMENTS LLC
2321 FIELDCREST DR
ROCKWALL, TX 75032

OCCUPANT
3054 DUSTY RIDGE DR
ROCKWALL, TX 75032

TOUOBOUN CHRISTOPHER
1648 TROW BRIDGE
ROCKWALL, TX 75032

OCCUPANT
3055 DEER RIDGE DR
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

SCHUETTE JASON & BARBARA
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

BRUCE LIVING TRUST
757 AVALON DR
HEATH, TX 75032

OCCUPANT
2065 BROKEN LANCE LN
ROCKWALL, TX 75032

TIPPETT TERRANCE & EMILY
2060 BROKEN LANCE LANE
ROCKWALL, TX 75032

DRENTH HOWARD D AND TERESSA
2080 BROKEN LANE
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA
336 NICOLE DR
ROCKWALL, TX 75032

ESTATE OF WILLIAM K & BEATRICE BURNS
319 RENEE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

OCCUPANT
337 RENEE DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
152 NICOLE DR
ROCKWALL, TX 75032

SOSA LORENA
293 NICOLE DR
ROCKWALL, TX 75032

ESPARZA MARCO
312 RENEE
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS AND
JUANA DIAZ
1750 E FM 550
ROCKWALL, TX 75032

OCCUPANT
330 RENEE DR
ROCKWALL, TX 75032

SH DEV KLUTTS ROCKWALL LLC
2400 DALLAS PARKWAY SUITE 460
PLANO, TX 75093

BENITES ROSA
322 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
312 NICOLE DR
ROCKWALL, TX 75032

BENITES ROSA
322 NICOLE DR
ROCKWALL, TX 75032

CHINN DERRICK O
PO BOX 35011
LOS ANGELES, CA 90035

OCCUPANT
3468 POST OAK DR
ROCKWALL, TX 75032

BEAVERS SHIRLEY
3460 POST OAK DR
ROCKWALL, TX 75032

RUSHING MASON & JACLYN A
3111 MISTY RIDGE LANE
ROCKWALL, TX 75032

JARMAN EMMA
3091 MISTY RIDGE LN
ROCKWALL, TX 75032

ARISTA ISAAC & WILMA KAY
3083 MISTY RIDGE LN
ROCKWALL, TX 75032

RICCELLI JEANINE MARIE
3099 MISTY RIDGE LN
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

IBARRA GABRIELA AND
EDUARDO OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

OCCUPANT
291 RENEE DR
ROCKWALL, TX 75032

ESPARZA MARCO A
312 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
383 RENEE DR
ROCKWALL, TX 75032

WHEELER JANIS & KEVIN M
451 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

DEAN ANN W
106 STANDING OAK DR
GEORGETOWN, TX 78633

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

MILLER FAMILY INVESTMENT LP
17430 CAMPBELL RD STE 230
DALLAS, TX 75252

SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
2922 S GOLIAD ST
ROCKWALL, TX 75032

SANCHEZ ARNULFO
398 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
222 NICOLE DR
ROCKWALL, TX 75032

MCINTIRE JUANITA
373 RENEE DR
ROCKWALL, TX 75032

MENDEZ ALAN ERNESTO ROJAS AND YAZMIN
ACOSTA MEJIA
303 RENEE DR
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

BLOOMFIELD HOMES LP
1050 E. STATE HWY 114 EAST SUITE 210
SOUTHLAKE, TX 76092

ROSS SCOTT TRAVIS AND MEGAN
2517 LOUDON ST WEST
ROCKWALL, TX 75032

DENSON PATRICIA ANN
2521 LOUDON ST WEST
ROCKWALL, TX 75032

JOSHI MAYURESH S AND
BINITA SINHA
2513 LOUDON ST WEST
ROCKWALL, TX 75032

GATEWOOD PAULA AND WADE
2509 LOUDON ST W
ROCKWALL, TX 75032

SIGNO FAMILY LIVING TRUST
GENARO A SIGNO AND JULITA R SIGNO-
TRUSTEES
2505 LOUDON STREET WEST
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

OCCUPANT
4509 SYLVAN PARK DR
ROCKWALL, TX 75032

DE LOS SANTOS CARLOS AND MARGOT
2501 LOUDON ST WEST
ROCKWALL, TX 75032

HUGHES BRYAN
2423 LOUDON ST WEST
ROCKWALL, TX 75032

MARTINEZ ALEXANDRA ISABEL PRIETO AND
ANGEL JAVIER SANCHEZ ROJAS
2419 LOUDON ST WEST
ROCKWALL, TX 75032

GARZA SIMONE M & HEATH
2518 LOUDON ST E
ROCKWALL, TX 75032

JOHNSTON RODNEY DURRAL JR AND KIMBERLY
D
2504 LOUDON ST EAST
ROCKWALL, TX 75032

BOLDEN QUINTEN TIBERIUS AND
ALEXANDER NICHOLAS KUJAK
2417 LOUDON ST WEST
ROCKWALL, TX 75032

ACKERMAN DANYELL AND ALAN
2418 LOUDON STREET EAST
ROCKWALL, TX 75032

NAMIE NOMIE M III AND GINA MARIE
2413 LOUDON ST WEST
ROCKWALL, TX 75032

BOCK FAMILY TRUST OF 2003
JOSEPH C AND SHIZUKO BOCK-TRUSTEES
2601 LONG COMMON SOUTH
ROCKWALL, TX 75032

SWAIN STEPHEN & CAROL J
2406 LOUDON ST E
ROCKWALL, TX 75032

GIL ANNA AND JULIAN
2409 LOUDON STREET WEST
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

WILLIAMS DAVIS CRAIG AND JENNIFER IRENE
2405 LOUDON ST WEST
ROCKWALL, TX 75032

DIGGS DAVID WILEY
2401 LOUDON ST WEST
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

TAYLOR SHELLY A
2518 LONG COMMON NORTH
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

FURLONG FAMILY TRUST
2502 LONG COMMON NORTH
ROCKWALL, TX 75032

MURRAY BRADY & JENNIFER
4310 STABLE GLEN DRIVE
ROCKWALL, TX 75032

ROBERTS KYLE & KATELIN
4314 SELBORNE DR
ROCKWALL, TX 75032

MILLIGAN BYRON PEYTON AND MELANIE BAILEY
4317 STABLEGLEN DR
ROCKWALL, TX 75032

VIDICAN FLORIN
4306 STABLEGLEN DRIVE
ROCKWALL, TX 75032

PETERSEN JOEL AND LEIGHANN MARIE
4309 STABLEGLEN DRIVE
ROCKWALL, TX 75032

LIRA MARCELINO JOSE &
ROZENEIDE S SOUSA LINS
4318 SELBORNE DR
ROCKWALL, TX 75032

HERNANDEZ RAUL RALPH
4302 STABLEGLEN DRIVE
ROCKWALL, TX 75032

TRAVIS MARK SUMMIT AND KAITLYN MAE
4301 STABLEGLEN DRIVE
ROCKWALL, TX 75032

OCONELL PETER JAMES AND MICHELLE ANN
4214 QUINCY ST
ROCKWALL, TX 75032

BROWN KAREN D
4215 STABLEGLEN DRIVE
ROCKWALL, TX 75032

MELI JILL MARIE
4210 QUINCY ST
ROCKWALL, TX 75032

ROBINSON JOSEPH BROOKS
4210 STABLEGLEN DRIVE
ROCKWALL, TX 75032

BURKHALTER JEFFREY MICHAEL AND LINDSEY
ANN
4209 STABLEGLEN DR
ROCKWALL, TX 75032

SHEPHERD JEFFREY W AND PAMELA A
4206 STABLE GLEN DRIVE
ROCKWALL, TX 75032

PATTERSON KENNETH EARL AND CYNTHIA A
4205 STABLEGLEN DR
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

IRWIN MATTHEW LEE AND MYLIN NICOLE
4202 STABLEGLEN DRIVE
ROCKWALL, TX 75032

ROSOFF AMY LYNN
4111 QUINCY STREET
ROCKWALL, TX 75032

HIGDON RICKIE LEE AND ASUNCION MARINA
4113 STABLEGLEN DR
ROCKWALL, TX 75032

DIVITTORIO ZEB ROBERT AND KELSEY LYNN
4110 STABLEGLEN DR
ROCKWALL, TX 75032

SIMS RUSSELL ROBERT AND CALLIE MICHELLE
4105 QUINCY STREET
ROCKWALL, TX 75032

CAMP DARROL B AND TASHIA F
4109 STABLEGLEN DR
ROCKWALL, TX 75032

PARSON JESSICA L AND CHRISTOPHER P
4106 STABLEGLEN DR
ROCKWALL, TX 75032

COOK BROOKE AND MATTHEW
4105 STABLEGLEN DRIVE
ROCKWALL, TX 75032

UNDERWOOD MARK AND MICHELLE
4101 QUINCY STREET
ROCKWALL, TX 75032

HUNG MINH LAM AND BIHN TAN QUACH
4102 STABLEGLEN DR
ROCKWALL, TX 75032

HENSON DAVID ROSS AND DEBORAH PROWSE
4101 STABLEGLEN DRIVE
ROCKWALL, TX 75032

TROST COOPER RANDALL & JENNIFER
4027 QUINCY ST
ROCKWALL, TX 75032

BURNS TONYA KAY AND AUBREY LEE
4014 STABLEGLEN DR
ROCKWALL, TX 75032

HALL HUNTER AND KELSEY
4013 STABLEGLEN DRIVE
ROCKWALL, TX 75032

GUARDIOLA SOCORRO AND
JESSICA GUAZZONE
4023 QUINCY ST
ROCKWALL, TX 75032

TOPALOVIC NIKOLA AND KAYLEE NAN
4010 STABLEGLEN DRIVE
ROCKWALL, TX 75032

SEUMANUTAFI JOHN AND CHRISTINE
4009 STABLEGLEN DRIVE
ROCKWALL, TX 75032

WESLEY ERIC CHARLES & TERRI LASHON
4019 QUINCY STREET
ROCKWALL, TX 75032

HUNTER BRIAN JEFFREY AND JENNIFER LYNN
4006 STABLEGLEN DR
ROCKWALL, TX 75032

ARCHIBALD KAREN AND MATTHEW
4003 STABLEGLEN DRIVE
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

RAMSBOTTOM DAVID BRADLEY AND DAWN
4018 QUINCY STREET
ROCKWALL, TX 75032

BECOMING ONE MINISTRY & COUNSELING
CENTER
4002 STABLEGLEN DRIVE
ROCKWALL, TX 75032

ARMSTRONG HOYT AND MIMI TU ANH
4001 STABLEGLEN DR
ROCKWALL, TX 75032

JANDREW DUSTY R AND JUSTIN C
4014 QUINCY STREET
ROCKWALL, TX 75032

MICHAEL BOBIE AND SUSAN L BOBIE LIVING
TRUST
MICHAEL BOBIE AND SUSAN L BOBIE- TRUSTEES
3917 STABLEGLEN DRIVE
ROCKWALL, TX 75032

BETTEVY RYAN A & KIMBERLY
4010 QUINCY STREET
ROCKWALL, TX 75032

GILMORE CARA D
3910 STABLEGLEN DR
ROCKWALL, TX 75032

GALLOWAY BRENT JR & JACQUELINE
3913 STABLEGLEN DRIVE
ROCKWALL, TX 75032

LONG PAIGE MICHELE AND RYAN KEATHLEY
4017 OLMSTED DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL OWNER
3906 STABLEGLEN DR
ROCKWALL, TX 75032

DUKE ROCHELLE
4013 OLMSTED DRIVE
ROCKWALL, TX 75032

MOORE STEPHANIE RAAN AND RODNEY WAYNE
3909 STABLEGLEN DRIVE
ROCKWALL, TX 75032

OSMUN DAVID CHARLES AND MARISHA
3902 STABLEGLEN DR
ROCKWALL, TX 75032

TORRES MARCUS ANTHONY AND AMANDA E
3905 STABLEGLEN AVE
ROCKWALL, TX 75032

ROLDAN EMILY ELIZABETH AND IVAN
3901 STABLEGLEN DR
ROCKWALL, TX 75032

ILKENHANS JAMES CURTIS
3813 OLMSTED DRIVE
ROCKWALL, TX 75032

HUMPHREY JAY AND KIMMIE
4768 S STATE HWY 205
ROCKWALL, TX 75032

RCH WATER SUPPLY CORPORATION
PO BOX 2034
ROCKWALL, TX 75087

IMBURGIA JOHN & GRACE
211 ELVIS PRESLEY LN
ROCKWALL, TX 75032

IMBURGIA JOHN & GRACE
211 ELVIS PRESLEY LN
ROCKWALL, TX 75032

CASSAR JEFFREY AND JENNIFER
193 ELVIS PRESLEY LN
ROCKWALL, TX 75032

RCH WATER SUPPLY CORPORATION
PO BOX 2034
ROCKWALL, TX 75087

RCH WATER SUPPLY CORP
PO BOX 2034
ROCKWALL, TX 75087

CRENSHAW JANET AND GERALD S
3005 SAN MARCOS DR
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS'
ASSOCIATION INC
6750 HILLCREST PLAZA DRIVE SUITE 326
DALLAS, TX 75230

JONES KRISTINE KAYE AND
JOSE ENRIQUE FRESQUEZ
3010 SAN MARCOS DRIVE
ROCKWALL, TX 75032

RILEY CHRISTINE
3014 SAN MARCOS DRIVE
ROCKWALL, TX 75032

HERNANDEZ ARMANDO AND DARLA DEANETTE
3009 SAN MARCOS DRIVE
ROCKWALL, TX 75032

COWARD ERICA AND RICHARD
3013 SAN MARCOS DRIVE
ROCKWALL, TX 75032

FRANKLIN J BACHMAN TRUST
CYNTHIA KAY BACHMAN TRUSTEE
3001 SAN MARCOS DR
ROCKWALL, TX 75032

SCHOEN DAVID L AND MARY F
3006 SAN MARCOS DRIVE
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS'
ASSOCIATION INC
6750 HILLCREST PLAZA DRIVE SUITE 326
DALLAS, TX 75230

HAYES, LAGWENDA
3108 COOLWOOD LN
ROCKWALL, TX 75032

HAYES KRISTOPHER
3108 COOLWOOD LN
ROCKWALL, TX 75032

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

WING-PAL LLC
1227 WOODLAWN AVE
DALLAS, TX 75208

OCCUPANT
2390 S FM549
ROCKWALL, TX 75032

WING-PAL LLC
1227 WOODLAWN AVE
DALLAS, TX 75208

OCCUPANT
2380 FM549
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

THE STATE OF TEXAS, BY AND THROUGH THE
TEXAS TRANSPORTATION COMMISSION
125 E 11TH STREET
AUSTIN, TX 78701

ROCKWALL INDEPENDENT SCHOOL DISTRICT
<Null>
1050 WILLIAMS ST <Null>
ROCKWALL, TX 75087

OCCUPANT
2301 S JOHN KING BLVD
ROCKWALL, TX 75032

ROCKWALL 205 INVESTORS LLC (1075652)
<Null>
1 CANDLELITE TRAIL <Null>
HEATH, TX 75032

TEXAS RE INVESTMENTS LLC 401K PLAN
6315 GRAND PROMINENCE CT <Null>
KATY, TX 77494

OCCUPANT
207 NICOLE DR
ROCKWALL, TX 75032

TEXAS RE INVESTMENTS LLC 401K PLAN
6315 GRAND PROMINENCE CT
KATY, TX 77494

OCCUPANT
195 NICOLE DR
ROCKWALL, TX 75032

FRENTRESS ABIGAIL LEIGH
327 NICOLE DR <Null>
ROCKWALL, TX 75032

CASTANON RAMON & ESMERALDA ALMANZA
382 NICOLE DR <Null>
ROCKWALL, TX 75032

PLEASE RETURN THE BELOW FORM

Case No. Z2024-048: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Hoyt Armstrong
Address: 4001 Stableglen Dr Rockwall TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-048: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-048: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Carlos Barrera

Address: 330 Renee dr Rockwall Tx 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-048: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

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Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-048: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Rosaura Sanchez

Address: 353 Nicole dr Rockwall Tx 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

Ross, Bethany

From: M Bader <mbaderpa@gmail.com>
Sent: Friday, September 20, 2024 6:53 PM
To: Planning
Subject: Case No. Z2024-048 Zoning Change from AG to PD (OPPOSED)

Mr Ryan Miller,

I am OPPOSED to the proposed change of zoning as currently indicated for Case No. Z2024-048. The city council had previously requested the developer remodel their development proposal to adapt and accommodate larger lots throughout the whole development providing a better aesthetic and flow of the development which they have failed to do. We were told, due to cost, they are not able to accommodate the council's requests. Additionally, the volume of proposed structures would significantly impact multiple infrastructure elements in Rockwall including all utilities, especially water, which is becoming more restricted monthly evident by the issues in our surrounding communities, sewage, roadway infrastructure creating more traffic volume which we already have issues, access to schools, which are presently having overcrowding issues, and EMS services including Law Enforcement.

There are multiple residential developments under construction currently throughout rockwall currently including south of I-30 which are adding to the infrastructure headaches we are facing today.

My family moved to Rockwall because it is a family oriented community and has a rural touch; packing and stacking in homes does not benefit or reflect our city's plans for conservation, aesthetics and the future. This development is on the largest piece of undeveloped farm land in the City of Rockwall and it sits adjacent to the Wallace Homestead which will follow suit in the path of city approved construction projects that will likely bring hundreds of additional homes to our community if these plans are approved as proposed.

Feel free to contact me with any questions or concerns. Thank you.

Markus Bader
Oak of Buffalo Way, HOA Vice President
1940 Broken Lance Ln
Rockwall, TX 75032

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We provided what I believe is a very reasonable list to accommodate and not many of them were accepted. We'd kindly ask for these to be added!

Respondent Information

Please provide your information.

First Name *

Chris

Last Name *

Curtis

Address *

4735 Bear Claw Lane

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

THIS DEVELOPMENT IS WAY TOO HIGH A DENSITY AND WILL BRING EVEN MORE OF A NIGHTMARE IN TRAVELING THROUGH THE CITY/AREA. OVERDEVELOPMENT IS KILLING OUR CITY. IT IS NO LONGER THE SPECIAL TOWN WE MOVED TO 15 YEARS AGO.

Respondent Information

Please provide your information.

First Name *

GREGORY

Last Name *

DELK

Address *

2020 BROKEN LANCE LN

City *

ROCKWALL

State *

TX

Zip Code *

75032

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I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

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Respondent Information

Please provide your information.

First Name *

SANDRA

Last Name *

DELK

Address *

2020 BROKEN LANCE LN

City *

ROCKWALL

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

This plan will create a population density that is currently not supported by infrastructure currently in place and will hinder the property values of those of us who currently own property and live here. This new plan took almost none of the surrounding property owners requests to heart. The developers solution of eliminating 60 homes from this size of a development and moving the ingress road is negligible to the overall project and it's negative impact on our community.

Respondent Information

Please provide your information.

First Name *

Howard

Last Name *

Drenth

Address *

2080 Broken Lance Ln

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Infrastructure is not in place to support this many homes. The requests made by property owners in the last round of talks were not addressed in this latest plan. Too many homes on too small a piece of land.

Respondent Information

Please provide your information.

First Name *

Teresa

Last Name *

Drenth

Address *

2080 Broken Lance Ln

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The lack of appropriate traffic infrastructure and overloaded schools cannot handle additional residential builds.

Respondent Information

Please provide your information.

First Name *

Kyle

Last Name *

Roberts

Address *

4314 Selborne Dr

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

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Case Number *

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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Due to the limited size of our community, we believe that additional construction would significantly strain our resources and infrastructure. Further development could lead to overcrowding, increased traffic congestion, and a decline in the quality of life for our residents. Preserving the character of Rockwall and ensuring the well-being of our community should be prioritized over expanding our footprint.

Respondent Information

Please provide your information.

First Name *

Joe and Lisa

Last Name *

Sagnibene

Address *

3162 Luchenbach Trail

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The addition of these homes on this property plan will be a huge strain on the already taxed water supply and have a negative impact on traffic in the area. There is already enough congestion on 205 and John King as well as 3549 N.

Name: Christine Seumanutafa

Address: 4009 Stableglen Dr Rockwall TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

Zoning & Specific Use Permit Input Form

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Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z-2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Please accommodate for the traffic this development will increase on HW205.

Respondent Information

Please provide your information.

First Name *

Murtaza

Last Name *

Shah

Address *

4755 bear claw ln

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

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- My neighbors told me about the request.
- Other:

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

IMPACT ON HOME VALUE AND TRAFFIC CONGESTION.
ALREADY TAKES AT TIMES 10 MINUTES TO
GET OUT OF MY DRIVEWAY. EXPAND HIGHWAY TO 4
LANES BEFORE YOU ALLOW MORE HOME EXPANSION.

Name: EUGENE TERMINI.

Address: 1801 S. FM 549 ROCKWALL, TX.

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Z2024-048

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I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The builder here is not really working to meet the desire of the community, they are trying to just wear us down with wasted meetings. Instead of working with us to come up with a workable plan that really works with the community.

Respondent Information

Please provide your information.

First Name *

Terrance

Last Name *

Tippett

Address *

2060 Broken Lance Lane

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
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- My neighbors told me about the request.
- Other:

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Miller, Ryan

From: Carranza, Irma <irmac@mail.smu.edu>
Sent: Tuesday, October 1, 2024 4:02 PM
To: Miller, Ryan
Subject: Case no.Z2024-048

I am opposed to the request for the reasons listed below.

- more traffic will bring more danger for our family and home that is beside hwy 549.
- The noise increase will be disturbing.
- schools will become overcrowded leading to the decrease in education quality.

NAME: IRMA VITAR

ADDRESS: 3009 FONTANA BLVD ROCKWALL 75032

Sent via the Samsung Galaxy S24+, an AT&T 5G smartphone

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The current load on water usage has caused our pressure to decrease. The system cannot support increased demand. The traffic and noise pollution has already increased from the recent 9th grade center. The infrastructure needs improvement before additional demand increases.

Name: Mike + Renee Warren

Address: 2861 Haymaker Drive

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

Zoning & Specific Use Permit Input Form

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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Think it would be a great addition to the city

Respondent Information

Please provide your information.

First Name *

Ruthanne

Last Name *

Wise

Address *

407 yacht club dr

City *

Rockwall

State *

Tx

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I attended the last meeting with the developer and while they did make some changes they did not address many of our concerns and requests that were previously submitted.

Respondent Information

Please provide your information.

First Name *

Anita

Last Name *

Benners

Address *

4940 Bear Claw Lane

City *

Rockwall

State *

Tx

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
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Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The traffic is already an issue as is water supply for the area. 205 is already highly congested. Adding more strain on the current infrastructure will only make it worse. Please don't turn Rockwall into Mesquite.

Respondent Information

Please provide your information.

First Name *

Kati

Last Name *

Busby

Address *

1537 Westfield Lane

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Tim McCallum

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-044

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I would like to know why we were not informed of the three properties on Lillian Street they cause a lot of traffic problems. We never know who is here or there. sometimes its get very loud we have no neighbors. This is not what our neighborhood is.

Respondent Information

Please provide your information.

First Name *

Rodney

Last Name *

Daniel

Address *

606 Austin Street

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Robert

Last Name *

Douglass

Address *

1512 Foxwood Ln

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We already have daily traffic at any hour of the day all throughout Rockwall's streets, not including the the traffic on i30. We do not need to overcrowd our small Rockwall County any more than what it already is. We do not need to over crowd our schools either!

Respondent Information

Please provide your information.

First Name *

Sandra

Last Name *

Garcia

Address *

2620 Coyote Crossing

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-035

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Please do not approve the IKEA. it will cause major traffic problems in an already overload of traffic. With construction on I30 and the location of IKEA and HEB this will be a nightmare!

Respondent Information

Please provide your information.

First Name *

Martha

Last Name *

Griffey

Address *

2325 Saddlebrook

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Thru councilman McCallum

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Developer has not incorporated very many of the concerned homeowners requests.

Respondent Information

Please provide your information.

First Name *

Randy

Last Name *

Heinrich

Address *

4945 Bear Claw Ln

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Vehemently oppose 900 new homes in Rockwall off 205 and John King. Rockwall is a beautiful city, and to continue to fill it up with traffic and more homes is not what the residents of Rockwall want, and I am resident of Rockwall. I, like many others, moved to Rockwall for the prestige and stigma that Rockwall included.

Respondent Information

Please provide your information.

First Name *

Christy

Last Name *

Hester

Address *

405 Fox Hollow Drive

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Infrastructure is not in place to support this development

Respondent Information

Please provide your information.

First Name *

Melody

Last Name *

Holder

Address *

2060 Winding Oak Court

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We need another school for this development, not putting them at Pullen, Pullen is already too crowded.

Respondent Information

Please provide your information.

First Name *

Crystal

Last Name *

Hollis

Address *

228 Lionhart Place

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.

Other: My kids go to the school this development is zoned for

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Heidi

Last Name *

Howard

Address *

104 Yankee Court

City *

Rockwall

State *

TEXAS

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Too much traffic already, and not enough infrastructure and water to support it.

Respondent Information

Please provide your information.

First Name *

Dani

Last Name *

Hudspeth

Address *

1081 Shady Lane Drive

City *

Rockwall

State *

Texas

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Facebook Rockwallian

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

To much density

Respondent Information

Please provide your information.

First Name *

James

Last Name *

Langdon

Address *

5050 Bear Claw Ln

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Have not agree to make many important changes that we asked for.

Respondent Information

Please provide your information.

First Name *

Erika

Last Name *

Livingston

Address *

2235 Arrowhead Ct

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other:

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Density, density, density. Traffic overload. With the country's leaders telling us we need affordable housing how does \$800k - \$1.3k on small skinny lots meet that goal with lots where you can reach out and almost touch your neighbors house. And, how many wooden fences are going to be erected?

You have, each of you, and as a collective, the Power to shape the Future of this City. What you do with that Power matters.

Let's choose common sense over nonsense. Choose fiscal reality over fiscal fantasy. I don't want you to give up your skepticism. I want your skepticism to be your companion.

Perhaps it's time to do what the Cities of Heath and now Princeton, Texas have done when exercising their power and discretion. Issue a moratorium for 120 days to take a good long look at this and similar developments in Rockwall. It's not too late to plant your foot in the ground. Your actions will be remembered by your friends, neighbors, family, and community. You have the power to exercise discretion in shaping the contours of our city for a generation to come. hope you can find the courage to take a serious break. What's the hurry?

Respondent Information

Please provide your information.

First Name *

ROBERT

Last Name *

LYON

Address *

1900 BROKEN LANCE LANE - THE OAKS OF BUFFALO WAY

City *

ROCKWALL

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: I've attended several of the community meetings, the P&Z hearing and the council hearings

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Traffic congestion will be out of control! Rockwall does not need more traffic problems!

Respondent Information

Please provide your information.

First Name *

Pat

Last Name *

Mitchell

Address *

4789 Secret Cove

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I've been Rockwall resident since 1986. Road and post office infrastructure have been overwhelmed by population growth from 8500 to currently 50K+. Get infrastructure fixed first before doing anymore housing development, e., SH205, FM740, and Sh66

Respondent Information

Please provide your information.

First Name *

Julius

Last Name *

Rahmandar

Address *

308 S Lakeshore DR

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Text on my phone messaging app

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The addition of yet another master planned community with cookie cutter homes doesn't align with what the majority of people want and reason for living in and moving to Rockwall. We need to keep the small hometown feel while at the same time open to sustainable growth and capital development. The infrastructure is far behind- 205, 66, 276 all need to be properly expanded before even thinking about adding thousands of more homesites.

Respondent Information

Please provide your information.

First Name *

Cody

Last Name *

Richardson

Address *

1446 Greenbrook dr

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Rockwall is already overcrowded and traffic in and out are horrendous. This will make it worse.

Respondent Information

Please provide your information.

First Name *

Kimberly

Last Name *

Richardson

Address *

2701 Cypress Drive

City *

Rockwall

State *

Texas

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

City infrastructure can't support the addition of 500 new apartments and their residents. Also, since allowing the addition of apartments in recent years, our crime rate has skyrocketed. Don't let Rockwall become nothing other than an extension of Dallas. We don't need IKEA if it means expansion of multi-family housing units.

Respondent Information

Please provide your information.

First Name *

Tom

Last Name *

Roberts

Address *

608 Stonebridge Drive

City *

Rockwall

State *

Texas

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: Concerned for the safety of our citizens.

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Facebook

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

It will bring to much traffic

Respondent Information

Please provide your information.

First Name *

Kristine

Last Name *

Scarborough

Address *

2614 Cypress drive

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-48

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Tammy

Last Name *

Scarnati

Address *

156 Haven Ridge Dr

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Text

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Crowding of current infrastructure

Respondent Information

Please provide your information.

First Name *

Ranbir

Last Name *

Singh

Address *

1408 Palasades court

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

You can barely get down 205 as is without being stuck in bumper to bumper traffic. The density is simply way too high for this area. We need to plan wisely to keep property values up and our town desirable.

Respondent Information

Please provide your information.

First Name *

Sheena

Last Name *

Taylor

Address *

905 H Wallace Lane

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Lack of water resources and increase in traffic

Respondent Information

Please provide your information.

First Name *

Saket

Last Name *

Wakharkar

Address *

2321 Fieldcrest Dr

City *

Rockwall

State *

TX

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Opposition- entire development does not comply with the requirements plan set forth by Rockwall city. Developer only partially made changes to master development plan in regards to surrounding neighborhood's requested changes

Respondent Information

Please provide your information.

First Name *

Joe

Last Name *

Ward

Address *

4920 Bear Claw Ln

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am opposed to this new development. We do not have enough infrastructure for all these homes. We can barely get out of our neighborhood now. If this development goes in it should be houses 3000 square feet or more with 3 or more car garages. I do not want my home to go down in value due to smaller homes that are lower quality being built so close to mine.

Respondent Information

Please provide your information.

First Name *

Pamela

Last Name *

Ward

Address *

4920 Bear Claw Lane

City *

Rockwall

State *

Texas

Zip Code *

75032

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Traffic and low income population prone to crime

Respondent Information

Please provide your information.

First Name *

Joshua

Last Name *

Whitaker

Address *

1000 ridge rd ct

City *

Rockwall

State *

Texas

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Traffic is already imposible and adding more housing without having the infrastructure is going to be hell, besides the amount of more children it will bring to our already crowded schools

Respondent Information

Please provide your information.

First Name *

Maria Cristina

Last Name *

Williams

Address *

3047 longhorn ln

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- My neighbors told me about the request.
- Other:

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

William

Last Name *

Williams

Address *

3047 Longhorn Ln

City *

Rockwall

State *

Texas

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: Text from Rockwall City Councilman

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Google Forms

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-048: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Loffland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-048: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.



767 Justin Rd
Rockwall, TX 75087

September 13, 2024

Mr. Ryan Miller
Director of Planning and Zoning
City of Rockwall
385 S Goliad Street
Rockwall, TX 75087

RE: Zoning Application, Lofland Tract,

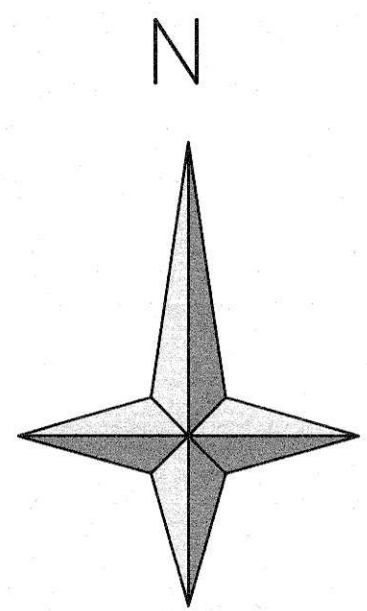
Dear Mr. Miller,

Michael Joyce Properties is submitting the attached Zoning Application, Concept Plan and Design Standards for consideration for a change in Zoning for the tracts as shown in the Concept Plan and Survey. We would like to request a change in Zoning from Agricultural District to a Planned Development District with the attached design standards.

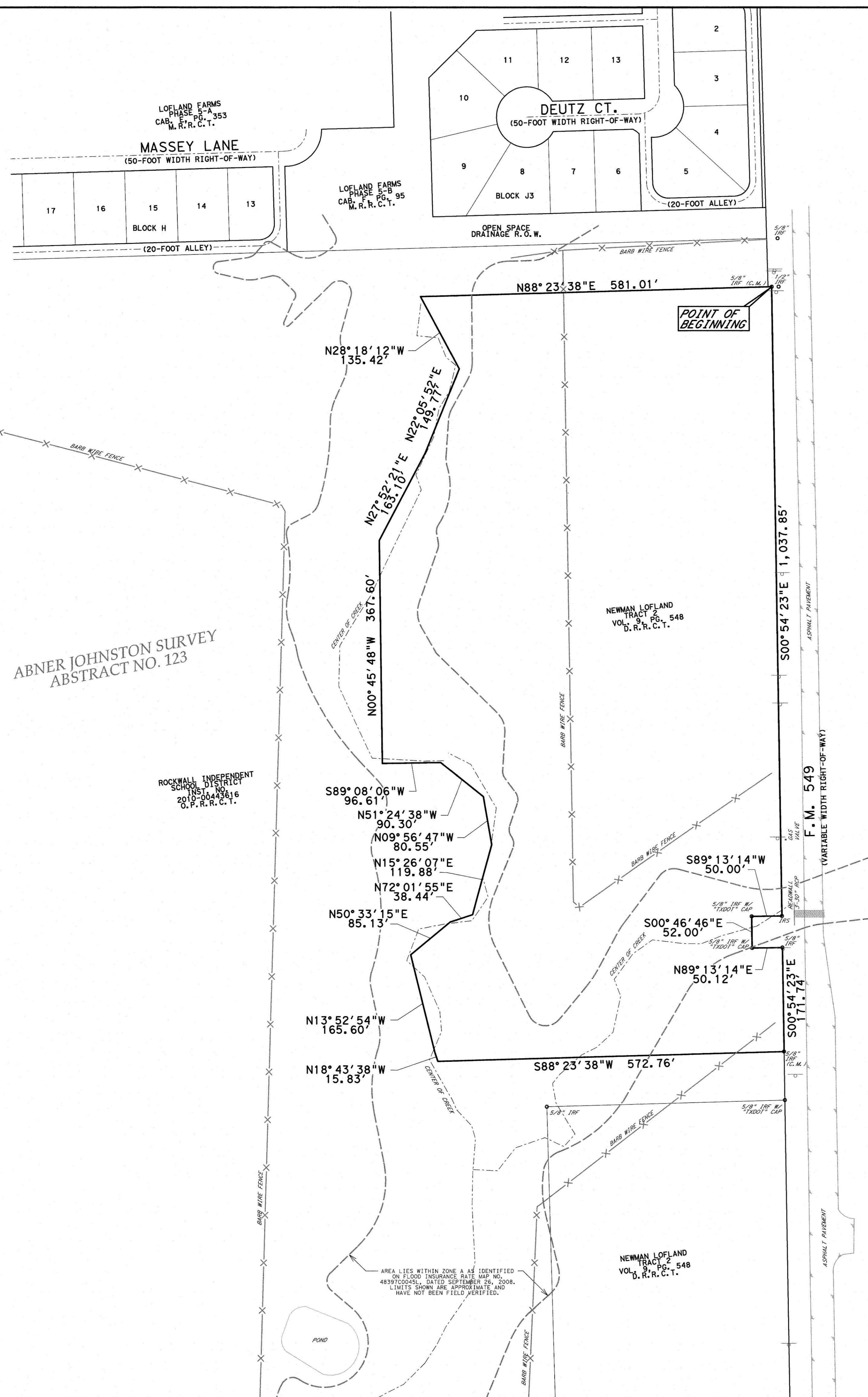
We thank you for your consideration and look forward to working with the City of Rockwall, the Planning and Zoning Commission and the City Council on the approval of this request.

Sincerely,

Ryan Joyce
President, Michael Joyce Properties



Scale: 1"=100'



ABNER JOHNSTON SURVEY
ABSTRACT NO. 123

ROCKWALL INDEPENDENT
SCHOOL DISTRICT
INST. NO. 2010-00443616
O.P.R.C.T.

AREA LIES WITHIN ZONE 4 AS IDENTIFIED
ON FLOOD INSURANCE RATE MAP NO.
48397C0045L, DATED SEPTEMBER 26, 2008.
LIMITS SHOWN ARE APPROXIMATE AND
HAVE NOT BEEN FIELD VERIFIED.

NEWMAN LOFLAND
TRACT 2
VOL. 9, PG. 548
D. R. R. C. T.

Notes:

- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
- 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
- Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B Items are as follows:
 - 10 e. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - does not affect
 - 10 f. City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
 - 10 g. State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
 - 10 h. Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - 10 i. Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - 10 j. Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - does not affect
 - 10 k. Soil Conservation District Easement, recorded in Instrument No. 20230000007528 - does not affect
 - 10 l. TXU Gas Company Easement, recorded in Volume 2248, Page 193 - does not affect
 - 10 m. Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - 10 n. Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - 10 o. Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - 10 p. Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

LEGEND

- POWER POLE
- GUY ANCHOR
- OVERHEAD ELECTRIC
- FENCELINE
- CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- IRS 1/2 INCH IRON ROD SET WITH RED "PJB SURVEYING" CAP
- SSMH SANITARY SEWER MANHOLE
- CMP CORRUGATED METAL PIPE
- FH FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- WV WATER VALVE
- WM WATER METER
- SIGN
- TP TELEPHONE PEDESTAL
- TB TELEPHONE BOX
- TRANS. TRANSFORMER
- D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS
- O.P.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
- M.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 2020000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.T.), being in an interior south line of a called 173.00 acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12 feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74 feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00 acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76 feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00 acre tract and generally along said creek, a distance of 15.83 feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44 feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88 feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55 feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30 feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61 feet;

THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10 feet;

THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77 feet;

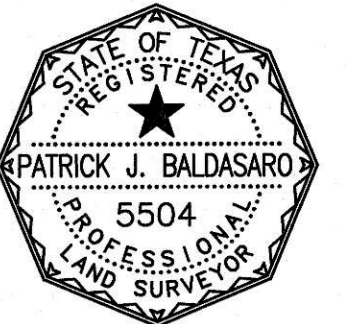
THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42 feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01 feet to the POINT OF BEGINNING and containing 16.8895 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland; Quatico Developments (U.S.), Inc.; Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro
Registered Professional Land Surveyor 5504



BOUNDARY SURVEY
OF A
16.8895 ACRE TRACT
OUT OF THE
ABNER JOHNSTON SURVEY, ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-6669

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 2020000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.C.T.), being in an interior south line of a called 173.00 acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No, 2010-00443616 O.P.R.R.C.T.;

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THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

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THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74 feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00 acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76 feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00 acre tract and generally along said creek, a distance of 15.83 feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60 feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44 feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88 feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55 feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30 feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61 feet;

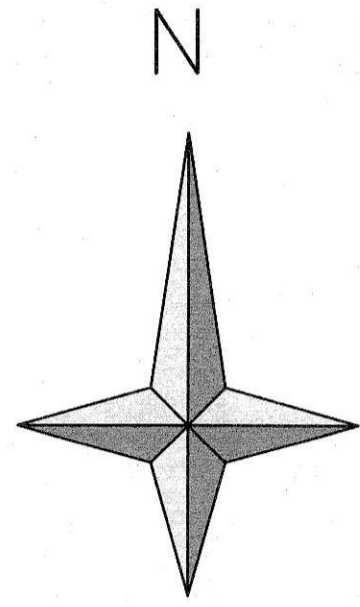
THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10 feet;

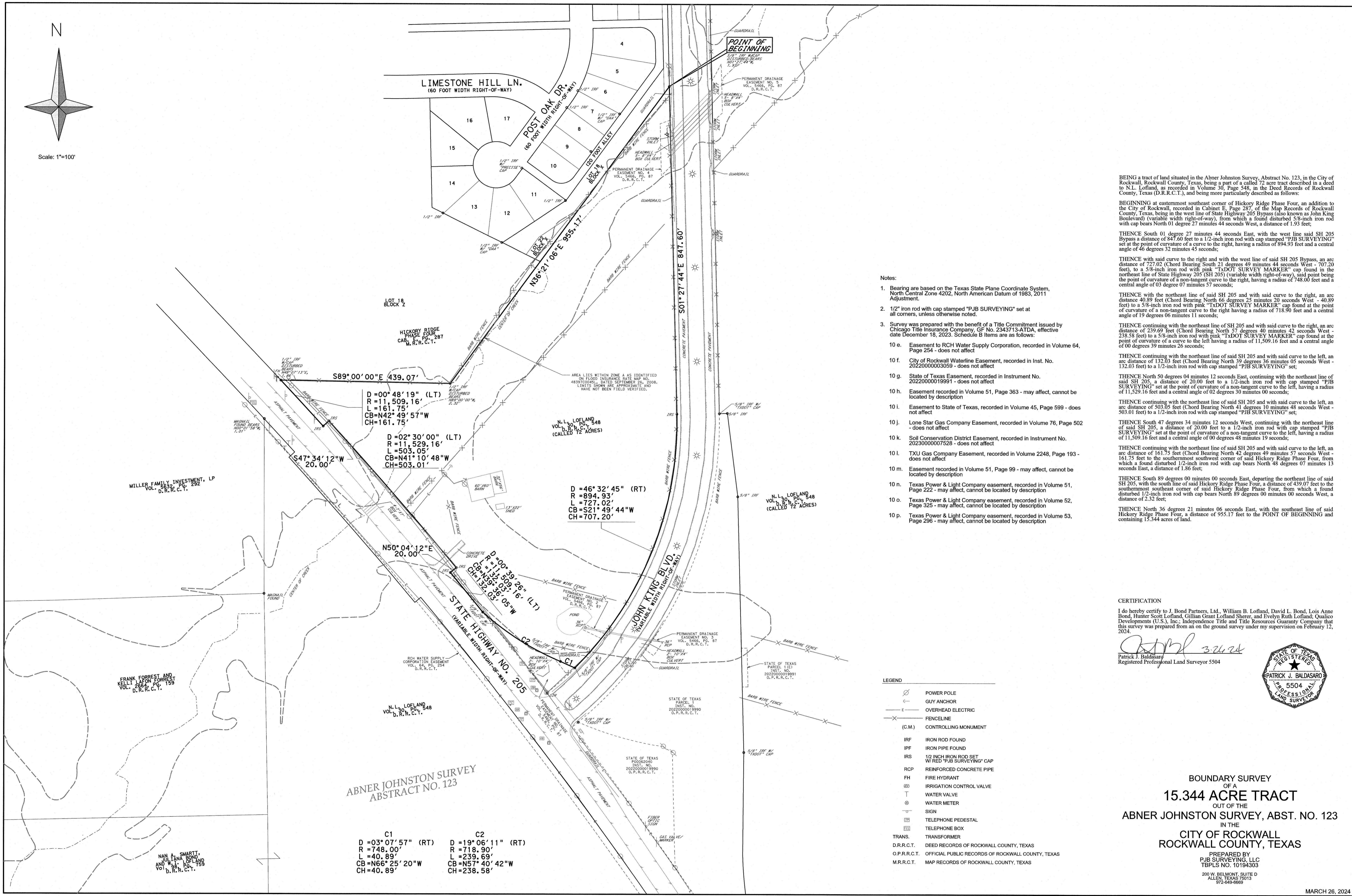
THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77 feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42 feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01 feet to the POINT OF BEGINNING and containing 16.8895 acres of land.



Scale: 1"=100'



Notes:

- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
- 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
- Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B items are as follows:
 - Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - does not affect
 - City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
 - State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
 - Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - does not affect
 - Soil Conservation District Easement, recorded in Instrument No. 2023000007528 - does not affect
 - TXU Gas Company Easement, recorded in Volume 2248, Page 193 - does not affect
 - Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93 feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a curve to the right, having a radius of 894.93 feet and a central angle of 46 degrees 32 minutes 45 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 727.02 (Chord Bearing South 21 degrees 49 minutes 44 seconds West - 707.20 feet), to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right, having a radius of 748.00 feet and a central angle of 03 degree 07 minutes 57 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 40.89 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 40.89 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right having a radius of 718.90 feet and a central angle of 19 degrees 06 minutes 11 seconds;

THENCE continuing with the northeast line of SH 205 and with said curve to the right, an arc distance of 239.69 feet (Chord Bearing North 57 degrees 40 minutes 42 seconds West - 238.58 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having a radius of 11,509.16 feet and a central angle of 00 degrees 39 minutes 26 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 132.03 feet (Chord Bearing North 39 degrees 36 minutes 05 seconds West - 132.03 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05 feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West - 503.01 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,509.16 feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75 feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West - 161.75 feet) to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86 feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07 feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 89 degrees 00 minutes 00 seconds West, a distance of 2.32 feet;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17 feet to the POINT OF BEGINNING and containing 15.344 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sheer, and Evelyn Ruth Lofland; Qualico Developments (U.S.), Inc.; Independence Title and Title Resources Guaranty Company that this survey was prepared from on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro
 Patrick J. Baldasaro
 Registered Professional Land Surveyor 5504



LEGEND

- POWER POLE
- GUY ANCHOR
- OVERHEAD ELECTRIC
- FENCELINE
- CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- IRS 1/2 INCH IRON ROD SET WITH "PJB SURVEYING" CAP
- RCP REINFORCED CONCRETE PIPE
- FH FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- WV WATER VALVE
- WM WATER METER
- S SIGN
- TP TELEPHONE PEDESTAL
- TB TELEPHONE BOX
- TRANS. TRANSFORMER
- D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

BOUNDARY SURVEY
 OF A
15.344 ACRE TRACT
 OUT OF THE
ABNER JOHNSTON SURVEY, ABST. NO. 123
 IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
 PJB SURVEYING, LLC
 TBPLS NO. 10194303
 200 W. BELMONT, SUITE D
 ALLEN, TEXAS 75013
 972-649-8669

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93 feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a curve to the right, having a radius of 894.93 feet and a central angle of 46 degrees 32 minutes 45 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 727.02 (Chord Bearing South 21 degrees 49 minutes 44 seconds West - 707.20 feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being the point of curvature of a non-tangent curve to the right, having a radius of 748.00 feet and a central angle of 03 degree 07 minutes 57 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance 40.89 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 40.89 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right having a radius of 718.90 feet and a central angle of 19 degrees 06 minutes 11 seconds;

THENCE continuing with the northeast line of SH 205 and with said curve to the right, an arc distance of 239.69 feet (Chord Bearing North 57 degrees 40 minutes 42 seconds West - 238.58 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having a radius of 11,509.16 feet and a central angle of 00 degrees 39 minutes 26 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 132.03 feet (Chord Bearing North 39 degrees 36 minutes 05 seconds West - 132.03 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05 feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West - 503.01 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

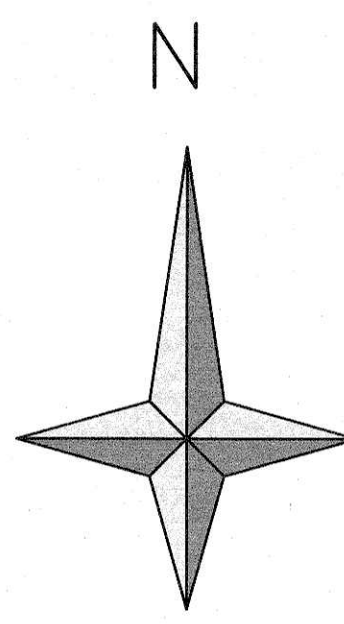
THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point

of curvature of a non-tangent curve to the left, having a radius of 11,509.16 feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75 feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West - 161.75 feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86 feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07 feet to the southernmost southeast corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 89 degrees 00 minutes 00 seconds West, a distance of 2.32 feet;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17 feet to the POINT OF BEGINNING and containing 15.344 acres of land.



Scale: 1"=200'

VICMAR I, LTD.
VOL. 2015, PG. 200
D.R.R.C.T.

LAYZA & LUNA REAL ESTATE, LLC
INST. NO. 2022000001115
O.P.R.R.C.T.

MILLER FAMILY INVESTMENT, LP
VOL. 3632, PG. 292
D.R.R.C.T.

POINT OF BEGINNING

FRANK FORREST AND
KELLI LAFON FORREST
VOL. 2488, PG. 59
D.R.R.C.T.

N.L. LOFLAND
VOL. 30, PG. 48
D.R.R.C.T.

NAN A. SMART,
JULIANA BOND
AND W. L. BOND
VOL. 88, PG. 759
D.R.R.C.T.

ROCKWALL LAKE
DEVELOPMENT
NO. 79
CAB. NO. 2015, PG. 79
M.R.R.C.T.

JOHN R. JOHNSON SURVEY
ABSTRACT NO. 128

N.L. LOFLAND
VOL. 55, PG. 269
D.R.R.C.T.

ABNER JOHNSON SURVEY
ABSTRACT NO. 123

N. ANNIE LOFLAND
AND N. ANNIE LOFLAND
VOL. 28, PG. 487
D.R.R.C.T.

WILLIAM W. FORD SURVEY
ABSTRACT NO. 80

LOFLAND CIR
(FORMERLY ROCKWALL
-CHILLSOLM HIGHWAY)

LOFLAND CIR. (FORMERLY ROCKWALL HIGHWAY)

BROKEN LANCE LANE (60-FOOT WIDTH RIGHT-OF-WAY)

WALLACE LANE

BEAR CLAW LN

D = 12° 47' 29" (LT)
R = 5,105.59'
L = 1,139.83'
CB = S38° 03' 31" E
CH = 1,137.46'

- LEGEND
- POWER POLE
 - GUY ANCHOR
 - OVERHEAD ELECTRIC
 - FENCELINE
 - CONTROLLING MONUMENT
 - IRF
 - IPF
 - IRS
 - SSMH
 - CMP
 - FH
 - I
 - T
 - M
 - S
 - TP
 - TB
 - TC
 - TSP
 - EB
 - TRANS.
- D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
M.R.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

- Notes:
- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
 - 1/2" Iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
 - Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B items are as follows:
 - 10 e. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - affects, shown
 - 10 f. City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
 - 10 g. State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
 - 10 h. Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - 10 i. Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - 10 j. Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - affects, shown
 - 10 k. Soil Conservation District Easement, recorded in Instrument No. 20230000007528 - does not affect
 - 10 l. TXU Gas Company Easement, recorded in Volume 2248, Page 193 - affects, shown
 - 10 m. Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - 10 n. Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - 10 o. Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - 10 p. Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120 acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 48, D.R.R.C.T., part of a called 60 acre tract of land described in deed to Nan A. Smart, Juliana Bond and W.L. Lofland, as recorded in Volume 98, Page 759, D.R.R.C.T., and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 55, Page 269, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a mag nail found at the northeast corner of a called 14.05 acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T., and the southeast corner of a called 15.98 acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72 acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72 acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81 feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found mag nail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01 feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 90 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29 feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East - 116.29 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,389.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95 feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East - 496.95 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 05 degrees 50 minutes 02 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,161.69 feet (Chord Bearing South 37 degrees 00 minutes 47 seconds East - 1,161.69 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having radius of 1,152.00 feet and a central angle of 19 degrees 30 minutes 41 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 82.30 feet (Chord Bearing South 4 degrees 51 minutes 03 seconds East - 390.41 feet to a 5/8-inch iron rod found at the point of tangency;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, at a distance of 228.25 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 528.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the left, having a radius of 5,105.59 feet and a central angle of 12 degrees 47 minutes 29 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.83 feet (Chord Bearing South 38 degrees 03 minutes 31 seconds East - 1,137.46 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on the south line of said Lofland 72 acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72 acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42 feet passing the southwest corner of said Lofland 72 acre tract and the southeast corner of said Lofland 60 acre tract, continuing with the south line of said Lofland 60 acre tract and the north line of said Lofland Circle, a total distance of 2,789.02 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 60 acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the southwest corner of said Lofland 60 acre tract and the southwest corner of said Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60 acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northwest corner of said Lofland 60 acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract of land described in deed to Vicmar I, Ltd., as recorded in Volume 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60 acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28 feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC recorded in Instrument No. 2022000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60 acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98 feet to a 1/2-inch iron rod found at the southeast corner of Layza & Luna tract and the southwest corner of said Forrest tract, continuing with the north line of said Lofland 60 acre tract and the south line of said Forrest tract, a total distance of 2,545.43 feet to an "X" set at the southeast corner of said Forrest tract, being in the west line of said Lofland 72 acre tract;

THENCE North 01 degree 03 minutes 21 seconds West, with the west line of said Lofland 72 acre tract and the east line of said Forrest tract, a distance of 571.95 feet to the POINT OF BEGINNING and containing 242.2768 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland, Qualico Developments (U.S.), Inc., Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro 3.20.24
Patrick J. Baldasaro
Registered Professional Land Surveyor 5504

BOUNDARY SURVEY
OF A
242.2768 ACRE TRACT
OUT OF THE
JOHN. R. JOHNSON SURVEY, ABST. NO. 128
AND THE
ABNER JOHNSON SURVEY, ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303
200 W. BELMONT SUITE D
ALLEN, TEXAS 75013
872-648-6669

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120 acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60 acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, D.R.R.C.T., and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T, and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05 acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598 acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72 acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72 acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81 feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01 feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29 feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East - 116.29 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,389.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95 feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East - 496.91 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 05 degrees 50 minutes 02 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,161.69 feet (Chord Bearing South 37 degrees 00 minutes 47 seconds East - 1,161.19 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having radius of 1,152.00 feet and a central angle of 19 degrees 30 minutes 41 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 392.30 feet (Chord Bearing South 24 degrees 51 minutes 03 seconds East - 390.41 feet) to a 5/8-inch iron rod found at the point of tangency;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, at a distance of 228.25 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 528.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the left, having a radius of 5,105.59 feet and a central angle of 12 degrees 47 minutes 29 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.83 feet (Chord Bearing South 38 degrees 03 minutes 31 seconds East - 1,137.46 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on the south line of said Lofland 72 acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72 acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42 feet passing the southwest corner of said Lofland 72 acre tract and the southeast corner of said Lofland 60 acre tract, continuing with the south line of said Lofland 60 acre tract and the north line of said Lofland Circle, a total distance of 2,789.02 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

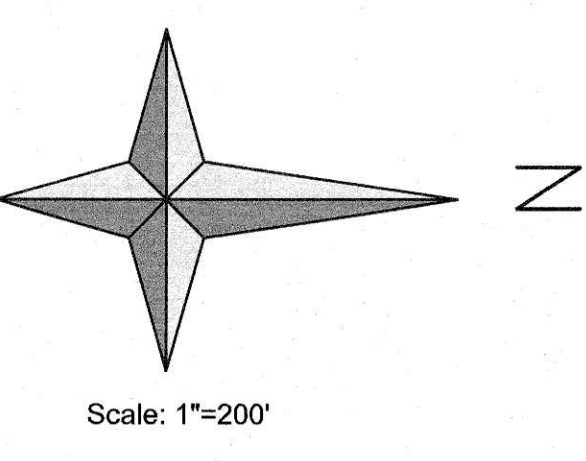
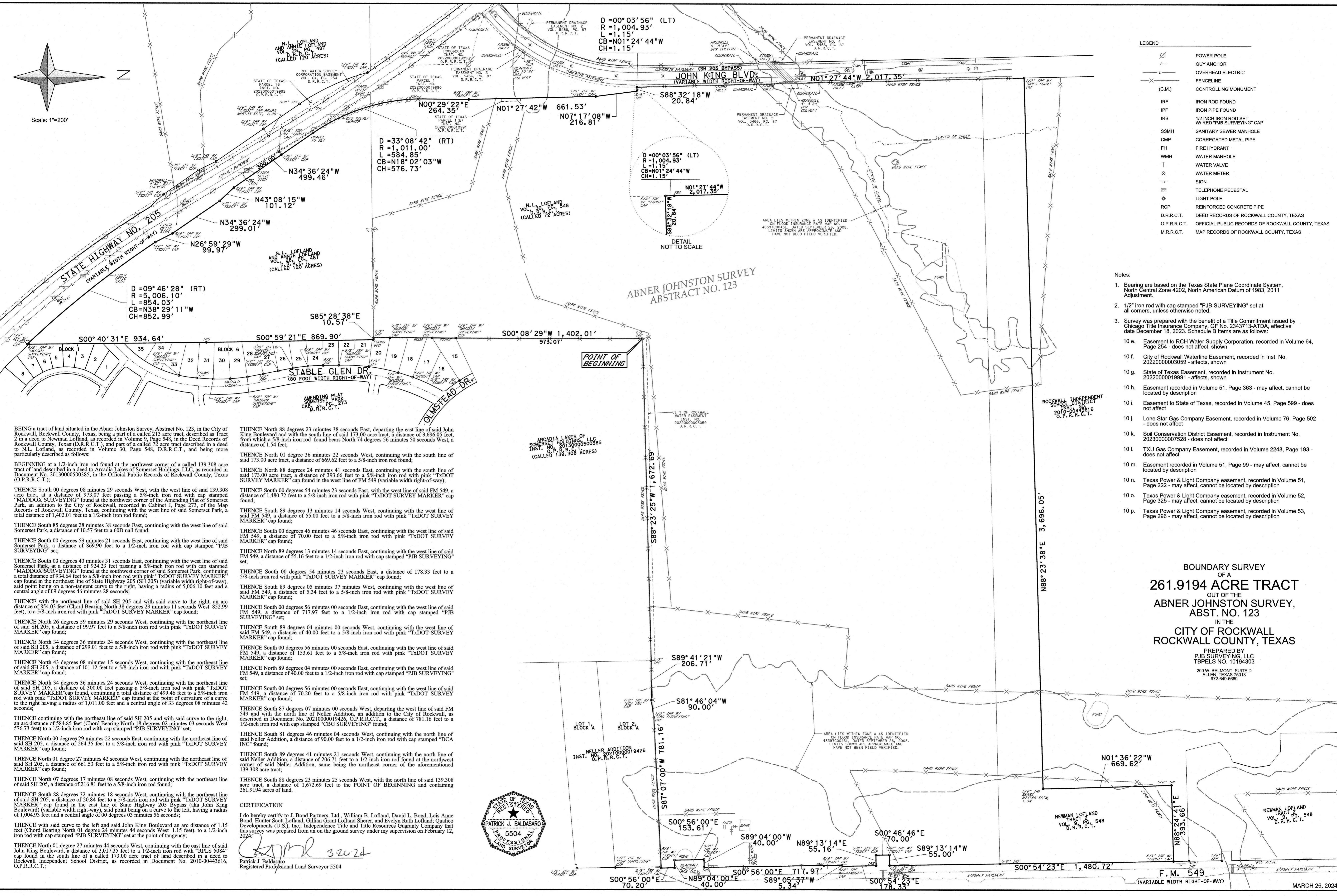
THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60 acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the southwest corner of said Lofland 60 acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60 acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northwest corner of said Lofland 60 acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60 acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28 feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 20220000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60 acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98 feet to a 1/2-inch iron rod found at the southeast corner of Layza & Luna tract and the southwest corner

of said Forrest tract, continuing with the north line of said Lofland 60 acre tract and the south line of said Forrest tract, a total distance of 2,545.43 feet to an "X" set at the southeast corner of said Forrest tract, being in the west line of said Lofland 72 acre tract;

THENCE North 01 degree 03 minutes 21 seconds West, with the west line of said Lofland 72 acre tract and the east line of said Forrest tract, a distance of 571.95 feet to the POINT OF BEGINNING and containing 242.2768 acres of land.



LEGEND

	POWER POLE
	GUY ANCHOR
	OVERHEAD ELECTRIC
	FENCELINE
	CONTROLLING MONUMENT
	IRON ROD FOUND
	IRON PIPE FOUND
	1/2 INCH IRON ROD SET
	WIRED "PJB SURVEYING" CAP
	SANITARY SEWER MANHOLE
	CORRUGATED METAL PIPE
	FIRE HYDRANT
	WATER MANHOLE
	WATER VALVE
	WATER METER
	SIGN
	TELEPHONE PEDESTAL
	LIGHT POLE
	REINFORCED CONCRETE PIPE
	DEED RECORDS OF ROCKWALL COUNTY, TEXAS
	OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
	MAP RECORDS OF ROCKWALL COUNTY, TEXAS

- Notes:
- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
 - 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
 - Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, OF No. 2043715-ATDA, effective date December 18, 2023. Schedule B Items are as follows:
 - 10 e. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - does not affect, shown
 - 10 f. City of Rockwall Waterline Easement, recorded in Inst. No. 20220000030593 - affects, shown
 - 10 g. State of Texas Easement, recorded in Instrument No. 20220000019991 - affects, shown
 - 10 h. Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - 10 i. Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - 10 j. Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - does not affect
 - 10 k. Soil Conservation District Easement, recorded in Instrument No. 2023000007528 - does not affect
 - 10 l. TXU Gas Company Easement, recorded in Volume 2248, Page 193 - does not affect
 - 10 m. Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - 10 n. Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - 10 o. Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - 10 p. Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

**BOUNDARY SURVEY
OF A
261.9194 ACRE TRACT
OUT OF THE
ABNER JOHNSTON SURVEY,
ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS**

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-548-6869

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found at the northwest corner of a called 139.308 acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308 acre tract, at a distance of 973.07 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01 feet to a 1/2-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57 feet to a 60D nail found;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10 feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03 feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99 feet), to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 499.46 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of tangency of a curve to the right having a radius of 1,011.00 feet and a central angle of 33 degrees 08 minutes 42 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the right, an arc distance of 584.85 feet (Chord Bearing North 18 degrees 02 minutes 03 seconds West 576.73 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 29 minutes 22 seconds East, continuing with the northeast line of said SH 205, a distance of 264.35 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 01 degree 27 minutes 42 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE North 08 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00 acre tract, a distance of 3,696.05 feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54 feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00 acre tract, a distance of 669.62 feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00 acre tract, a distance of 393.66 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 07 minutes West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 2021000019426, O.P.R.R.C.T., a distance of 781.16 feet to a 1/2-inch iron rod with cap stamped "CBG SURVEYING" found;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00 feet to a 1/2-inch iron rod with cap stamped "DCA INC" found;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71 feet to a 1/2-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308 acre tract;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308 acre tract, a distance of 1,672.69 feet to the POINT OF BEGINNING and containing 261.9194 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland; Qualico Developments (U.S.), Inc.; Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro
Registered Professional Land Surveyor 5504



**ABNER JOHNSTON SURVEY
ABSTRACT NO. 123**

POINT OF BEGINNING

ARCADIA LAKES OF LLC
SOMERSET HOLDINGS, LLC
INST. NO. 20130000500385
O.P.R.R.C.T.
(CALLED 139.308 ACRES)

CITY OF ROCKWALL
WATER EASEMENT
INST. NO. 20220000030593
O.P.R.R.C.T.

ROCKWALL INDEPENDENT
SCHOOL DISTRICT
INST. NO. 2010-0443616
O.P.R.R.C.T.

LOT 1
BLOCK 'A'
LOT 2
BLOCK 'A'
NELLER ADDITION
INST. NO. 2021000019426
O.P.R.R.C.T.

AREA LIES WITHIN ZONE A AS IDENTIFIED
ON FLOOD INSURANCE RATE MAP NO.
4839720045L, DATED SEPTEMBER 26, 2008.
LIMITS SHOWN ARE APPROXIMATE AND
HAVE NOT BEEN FIELD VERIFIED.

NEWMAN LOFLAND
TRACT PG. 548
VOL. 9, D.R.R.C.T.

NEWMAN LOFLAND
TRACT PG. 548
VOL. 9, D.R.R.C.T.

F. M. 549
(VARIABLE WIDTH RIGHT-OF-WAY)
MARCH 26, 2024

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 120 acre tract described in a deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487 D.R.R.C.T., and part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found at the northwest corner of a called 139.308 acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308 acre tract, at a distance of 973.07 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01 feet to a 1/2-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57 feet to a 60D nail found;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10 feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03 feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99 feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00 feet passing a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found, continuing a total distance of 499.46 feet (unable to set) to the point of curvature of a curve to the right having a radius of 1,011.00 feet and a central angle of 33 degrees 08 minutes 42 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the right, an arc distance of 584.85 feet (Chord Bearing North 18 degrees 02 minutes 03 seconds West 576.73 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 29 minutes 22 seconds East, continuing with the northeast line of said SH 205, a distance of 264.35 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 01 degree 27 minutes 42 seconds West, continuing with the northeast line of said SH 205, a distance of 661.53 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE South 88 degrees 32 minutes 18 seconds West, continuing with the northeast line of said SH 205, a distance of 20.84 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93 feet and a central angle of 00 degrees 03 minutes 56 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 1.15 feet (Chord Bearing North 01 degree 24 minutes 44 seconds West 1.15 feet), to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of tangency;

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35 feet to a 1/2-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00 acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00 acre tract, a distance of 3,696.05 feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54 feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00 acre tract, a distance of 669.62 feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00 acre tract, a distance of 393.66 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

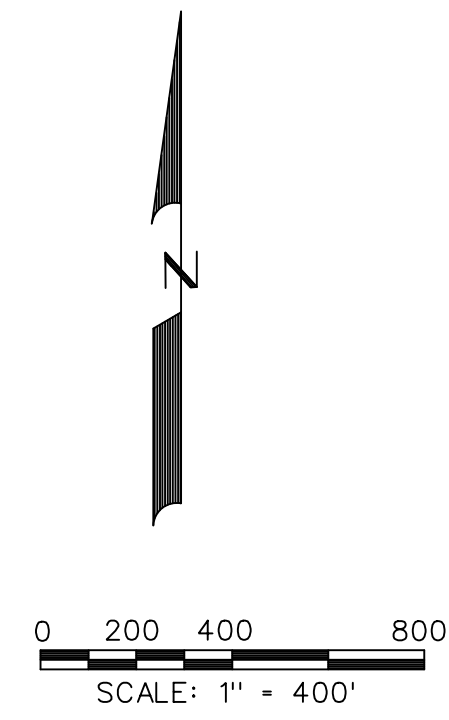
THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16 feet to a 1/2-inch iron rod with cap stamped "CBG SURVEYING" found;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00 feet to a 1/2-inch iron rod with cap stamped "DCA INC" found;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71 feet to a 1/2-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308 acre tract;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308 acre tract, a distance of 1,672.69 feet to the POINT OF BEGINNING and containing 261.9194 acres of land.



LEGEND

TYPICAL LOT SIZES

- TYPE 'A' - 1.5 AC. - 12 LOTS
- TYPE 'B' - 1.0 AC - 13 LOTS
- TYPE 'C' - 0.75 AC. - 18 LOTS
- TYPE 'D' - 100' X 150' - 66 LOTS
- TYPE 'E' - 82' X 125' - 168 LOTS
- TYPE 'F' - 72' X 125' - 339 LOTS
- TYPE 'G' - 62' X 125' - 269 LOTS
- OPEN SPACE - 135.97 Ac.
- AMENITY CENTER - 6.4 Ac.
- CITY PARK - 33.00 Ac.
- COMMERCIAL - 41.0 Ac.

CONCEPT PLAN ACREAGE

GROSS ACRES - 536.42
 COMMERCIAL ACREAGE - 28.65
 COMMERCIAL FLOODPLAIN - 12.35
 RESIDENTIAL ACREAGE - 427.92
 RESIDENTIAL FLOODPLAIN - 67.50

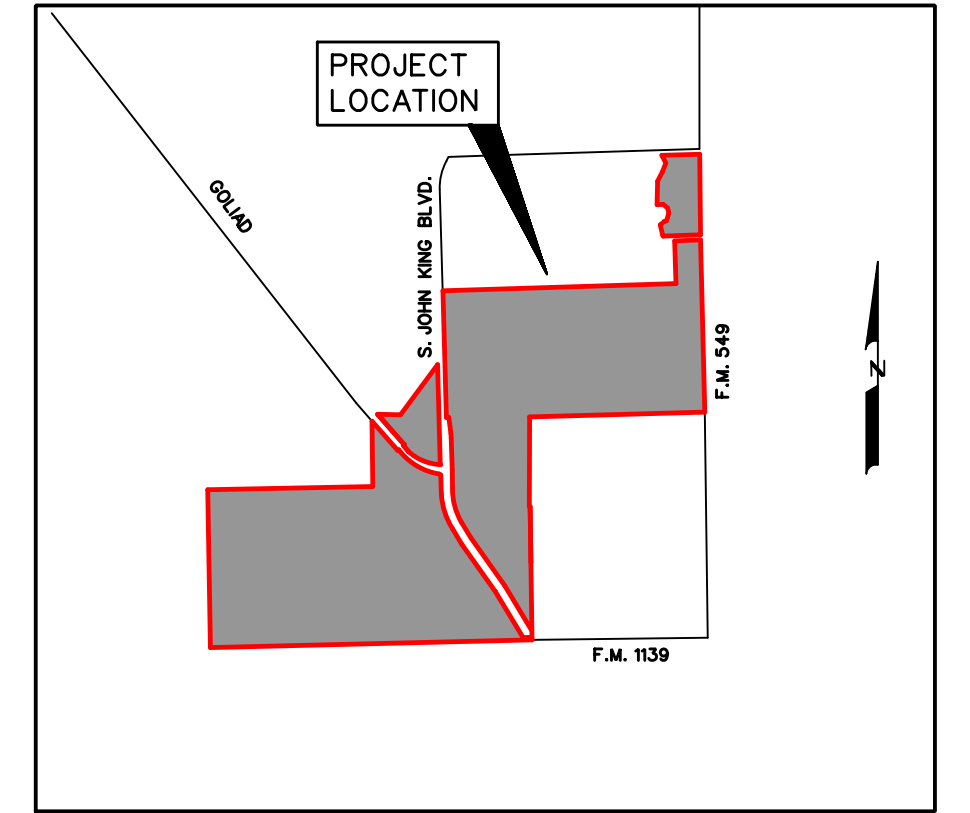
DENSITY CALCULATIONS

TOTAL RESIDENTIAL LOTS - 885
 DENSITY ON GROSS - 1.65

TOTAL FLOODPLAIN ACRES - 79.85
 OPEN SPACE REQUIRED - 107.28

OPEN SPACE CALCULATION

CITY PARKS - 33.00
 CITY WATER TOWER - 1.97
 FLOODPLAIN @ 50% - 39.93
 PRIVATE OPEN SPACE - 65.78
 AMENITIES CENTERS - 6.4
 TOTAL OPEN SPACE - 135.97
 EXCESS OPEN SPACE - 28.69



LOCATION MAP
N.T.S.

TOTAL ACRES	536.42
GROSS COMMERCIAL ACRES	41.0
TOTAL RESIDENTIAL LOTS	885
RESIDENTIAL DENSITY*	1.65
GROSS RESIDENTIAL DENSITY**	1.79
TOTAL FLOOD PLAIN ACRES	87.09
TOTAL OPEN SPACE ACRES	135.97

NOTE:
 * CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES)
 ** CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES-GROSS COMMERCIAL ACRES)

CONCEPT PLAN
 OF
JUNIPER
 SITUATED IN THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 A. JOHNSON SURVEY, ABSTRACT NO. 123
 J.R. JOHNSON SURVEY, ABSTRACT NO. 128





IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200

OWNERS
 J BOND PARTNERS, LOIS ANNE BOND, DAVID LOFLAND BOND,
 WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
 GILLIAN GRANT LOFLAND SHERER & EVELYN RUTH LOFLAND
 1 CARMARTHEN COURT
 DALLAS, TEXAS 75225

SEPTEMBER 2024 SCALE 1" = 400'

CASE NO. Z2024-048

CALLOUTS LEGEND:

-  SECONDARY ENTRY SIGNAGE; REFER TO SHEET 3 FOR ELEVATION.
-  ENCLAVE ENTRY SIGNAGE; REFER TO SHEET 3 FOR ELEVATION.
-  TRAIL STOP; REFER TO SHEET 4 FOR ELEVATION.
-  MAIN ENTRY MONUMENT WITHIN MEDIAN; REFER TO SHEET 3 FOR ELEVATION.



JUNIPER / OVERALL LAYOUT PLAN

City of Rockwall, Rockwall County, Texas



NORTH





SCALE: 1" = 300'-0"

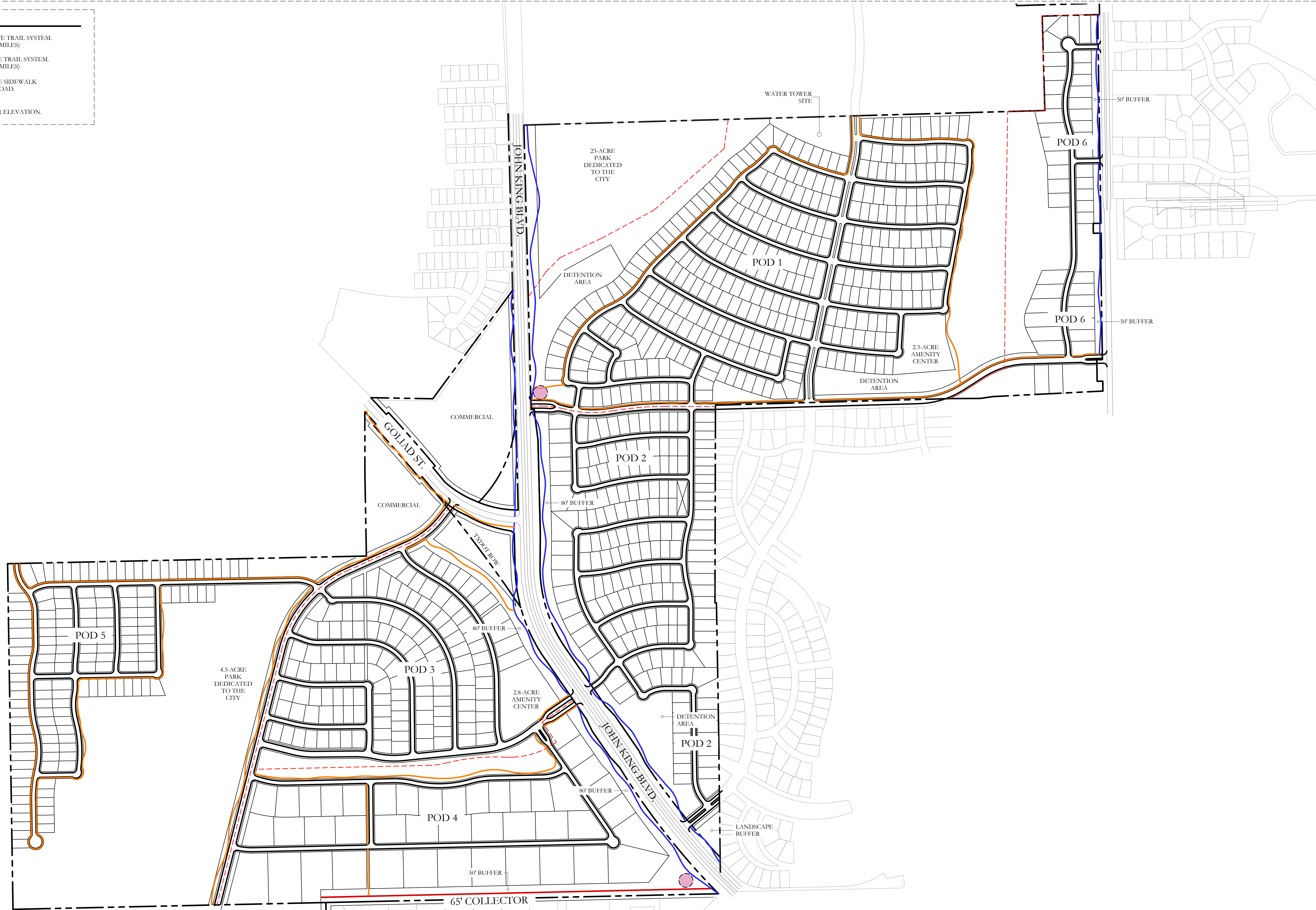
SHEET 1 OF 6
Owner Submittal 9-10-2024



TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

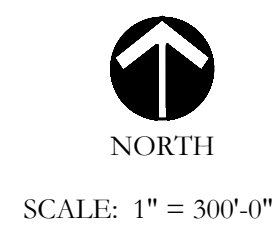
CALLOUTS LEGEND:

	10'-0" WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 2.38 MILES)
	8'-0" WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 5.04 MILES)
	5'-0" WIDTH CONCRETE SIDEWALK ALONG COLLECTOR ROAD.
	TRAIL STOP. REFER TO SHEET 4 FOR ELEVATION.



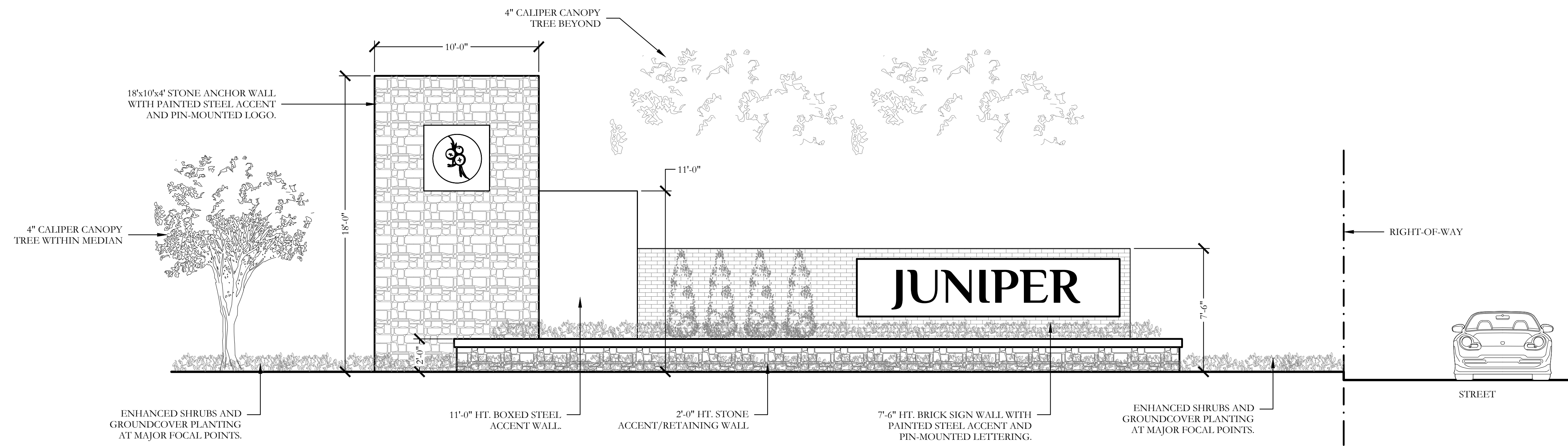
JUNIPER / OVERALL SIDEWALK AND TRAIL PLAN

City of Rockwall, Rockwall County, Texas



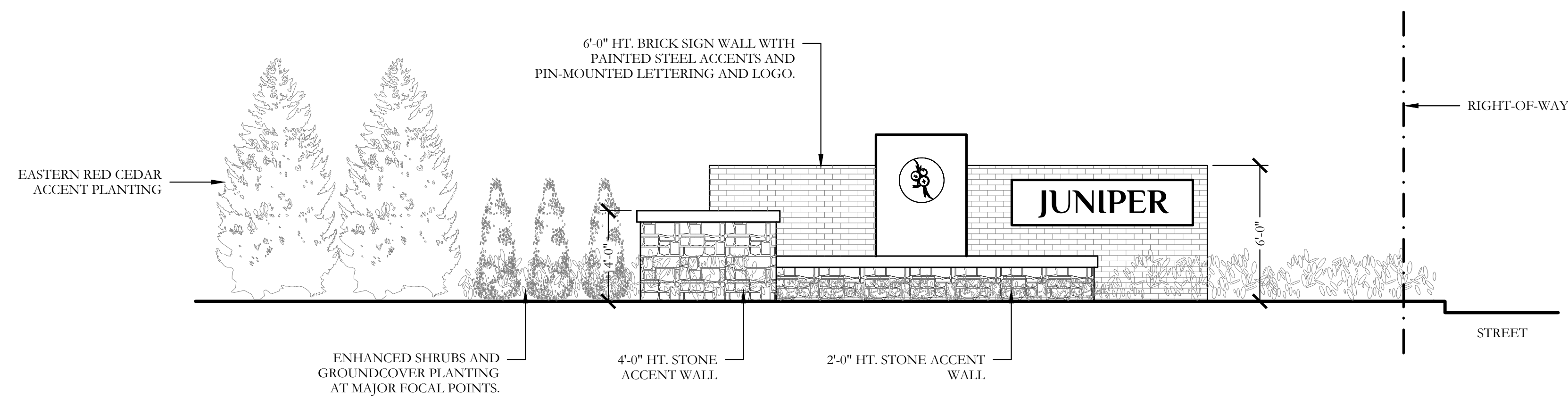
SHEET 2 OF 6
Owner Submittal 9-10-2024





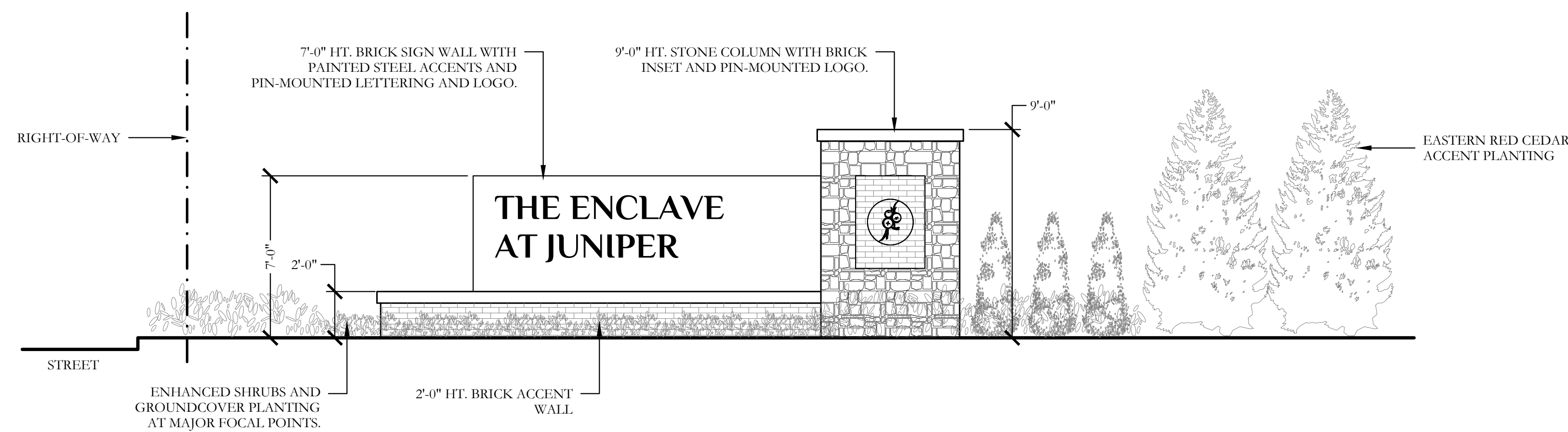
MAIN ENTRY SIGNAGE WITHIN MEDIAN
ELEVATION

SCALE: 1/4" = 1'-0"



SECONDARY ENTRY SIGNAGE
ELEVATION

SCALE: 1/4" = 1'-0"



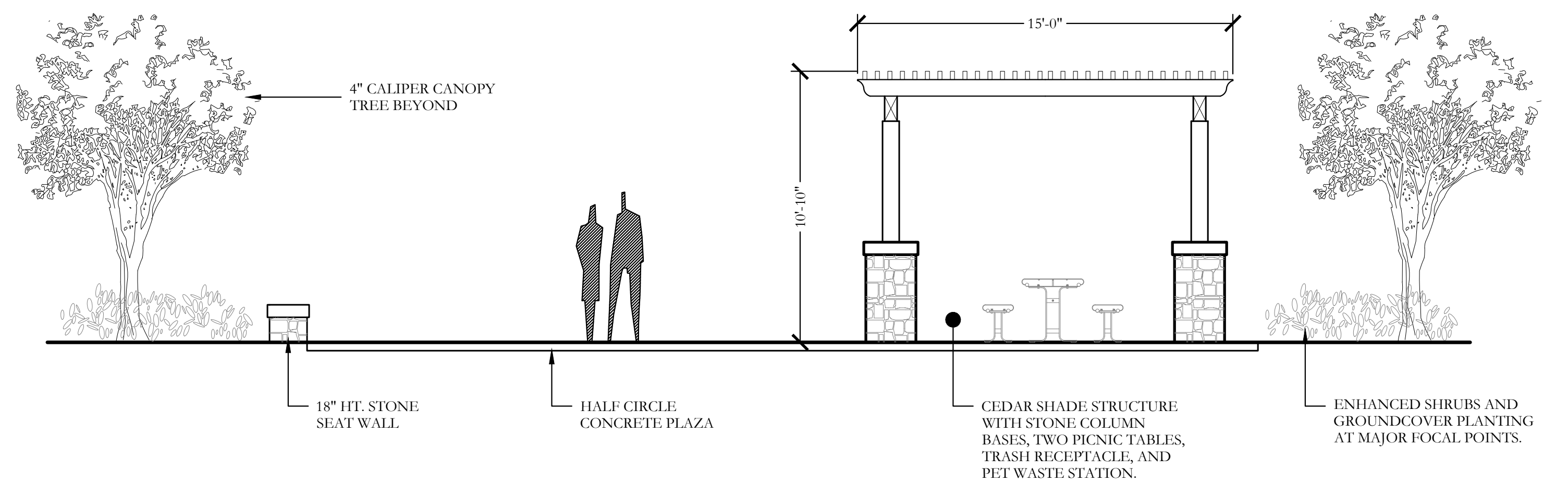
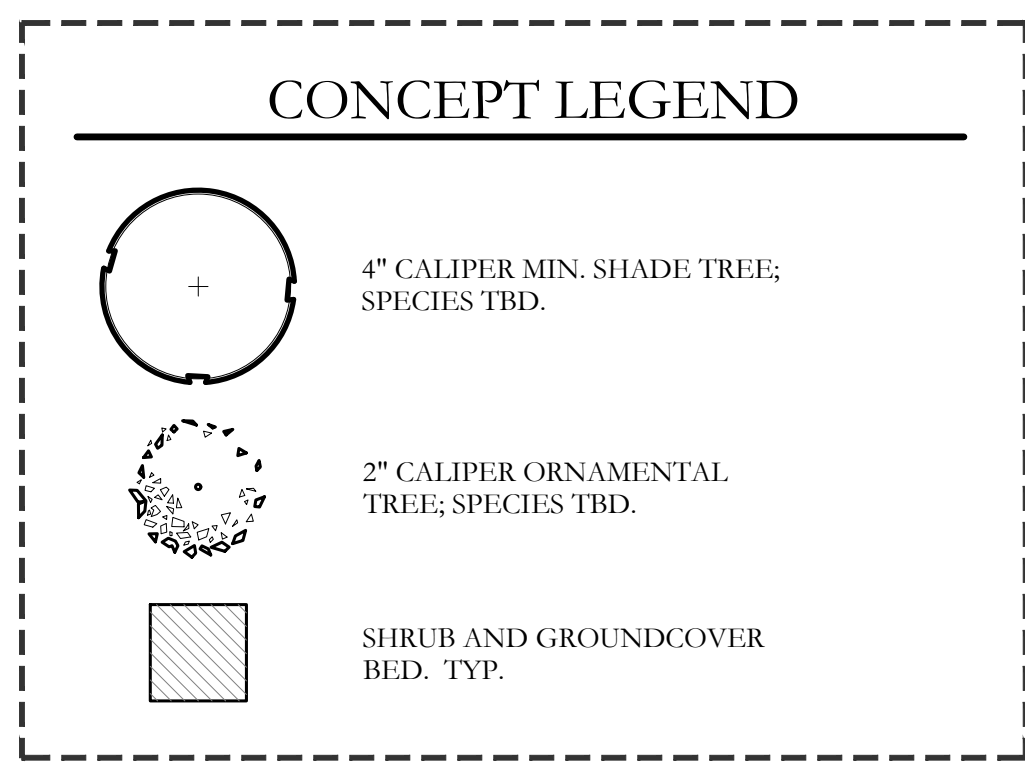
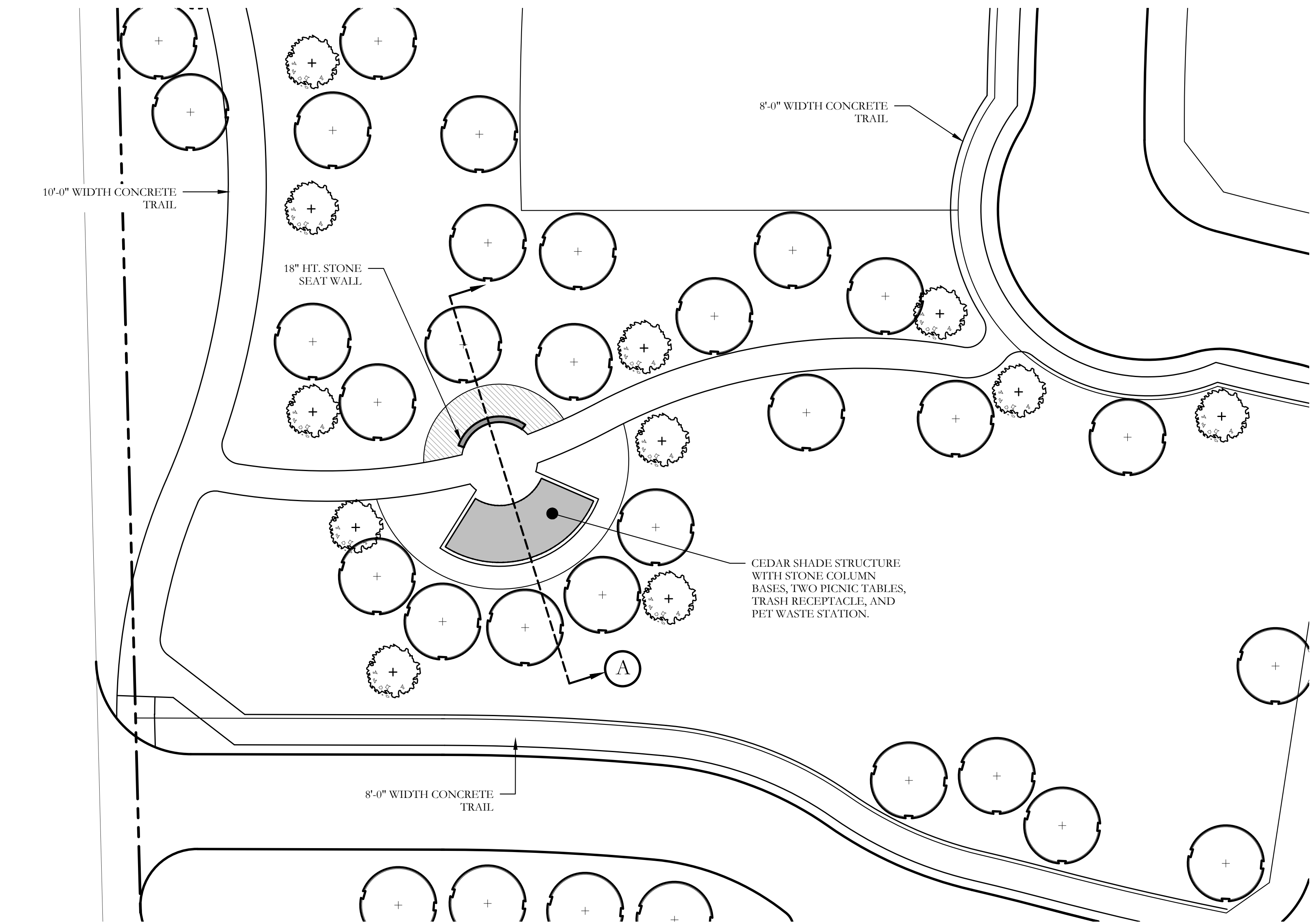
ENCLAVE ENTRY SIGNAGE
ELEVATION

SCALE: 1/4" = 1'-0"

JUNIPER / ENTRY MONUMENT ELEVATIONS

City of Rockwall, Rockwall County, Texas

SHEET 3 OF 6
Owner Submittal 9-10-2024



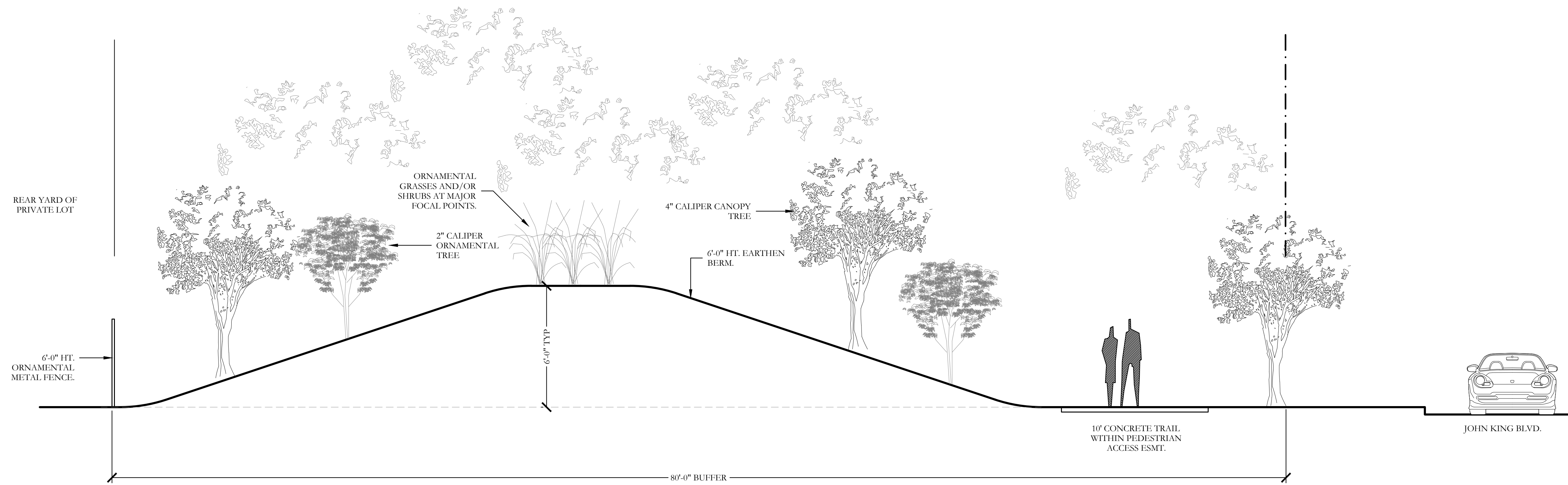
TRAIL STOP PLAN
SCALE: 1" = 20'-0"

TRAIL STOP - SECTION A (TYPICAL NORTH AND SOUTH TRAIL STOP)
SECTION/ELEVATION
SCALE: 1/4" = 1'-0"

JUNIPER / ENTRY MONUMENT/TRAIL STOP ELEVATIONS

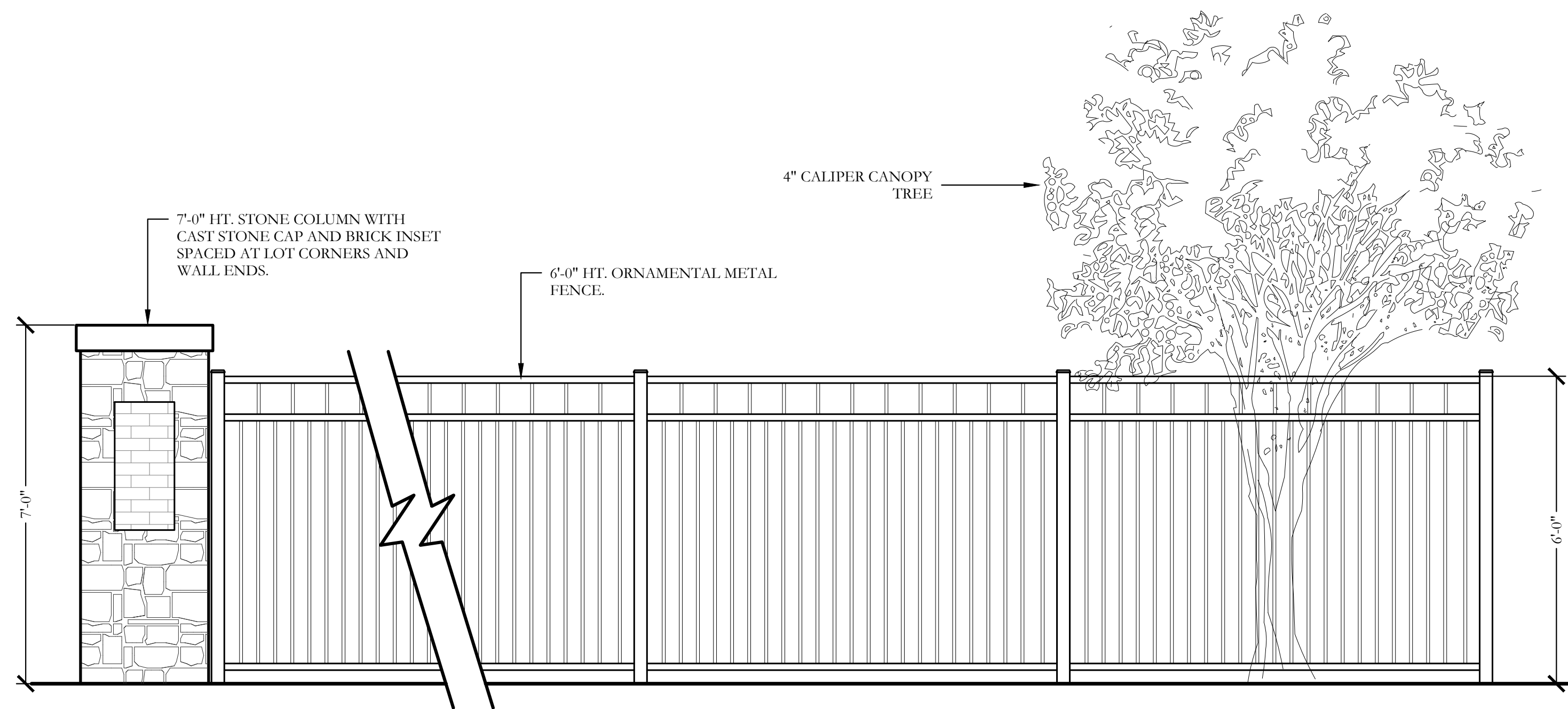
City of Rockwall, Rockwall County, Texas

SHEET 4 OF 6
Owner Submittal 9-10-2024



TYPICAL CROSS SECTION OF JOHN KING BLVD.
ELEVATION

SCALE: 1/4" = 1'-0"



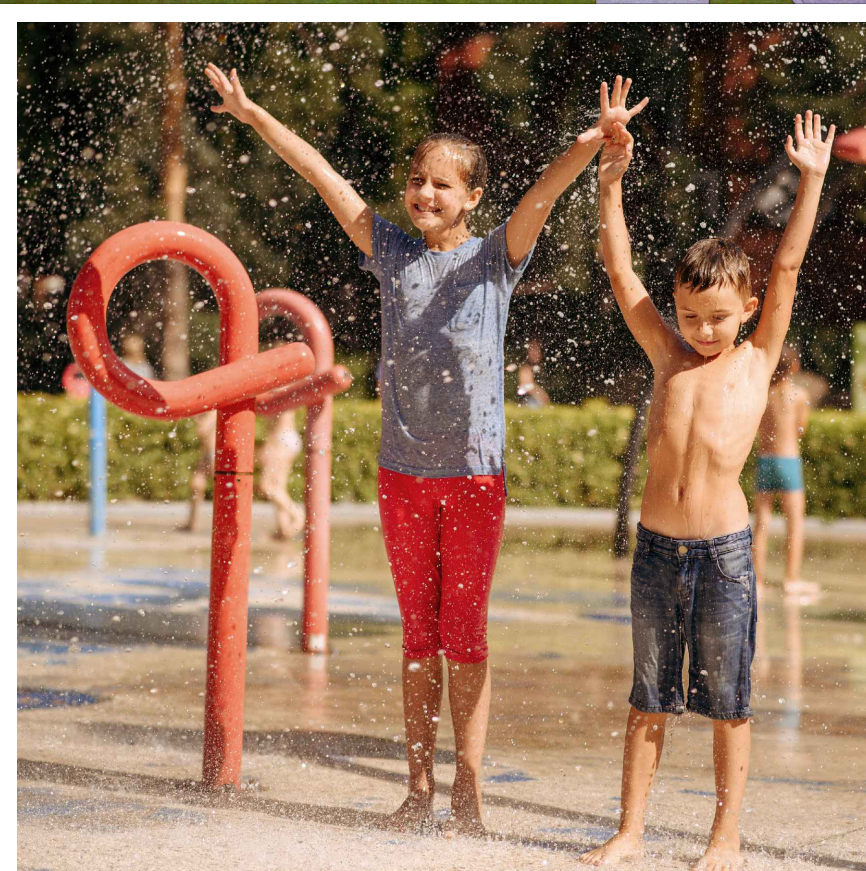
TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS
ELEVATION

SCALE: 1/2" = 1'-0"

JUNIPER / TYPICAL SCREENING DETAILS

City of Rockwall, Rockwall County, Texas

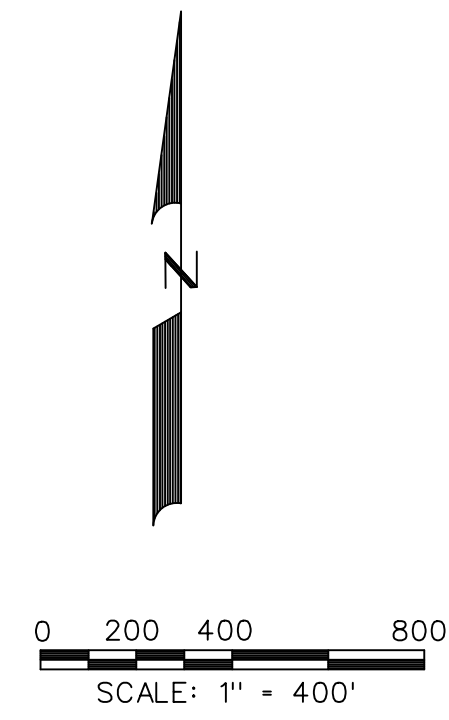
SHEET 5 OF 6
Owner Submittal 9-10-2024



JUNIPER / AMENITY CENTER INSPIRATION PAGE

City of Rockwall, Rockwall County, Texas

SHEET 6 OF 6
Owner Submittal 9-10-2024



LEGEND

TYPICAL LOT SIZES

	- TYPE 'A' - 1.5 AC. - 12 LOTS
	- TYPE 'B' - 1.0 AC - 13 LOTS
	- TYPE 'C' - 0.75 AC. - 18 LOTS
	- TYPE 'D' - 100' X 150' - 66 LOTS
	- TYPE 'E' - 82' X 125' - 168 LOTS
	- TYPE 'F' - 72' X 125' - 339 LOTS
	- TYPE 'G' - 62' X 125' - 269 LOTS
	- OPEN SPACE - 135.97 Ac.
	- AMENITY CENTER - 6.4 Ac.
	- CITY PARK - 33.00 Ac.
	- COMMERCIAL - 41.0 Ac.

CONCEPT PLAN ACREAGE

GROSS ACRES - 536.42
 COMMERCIAL ACREAGE - 28.65
 COMMERCIAL FLOODPLAIN - 12.35
 RESIDENTIAL ACREAGE - 427.92
 RESIDENTIAL FLOODPLAIN - 67.50

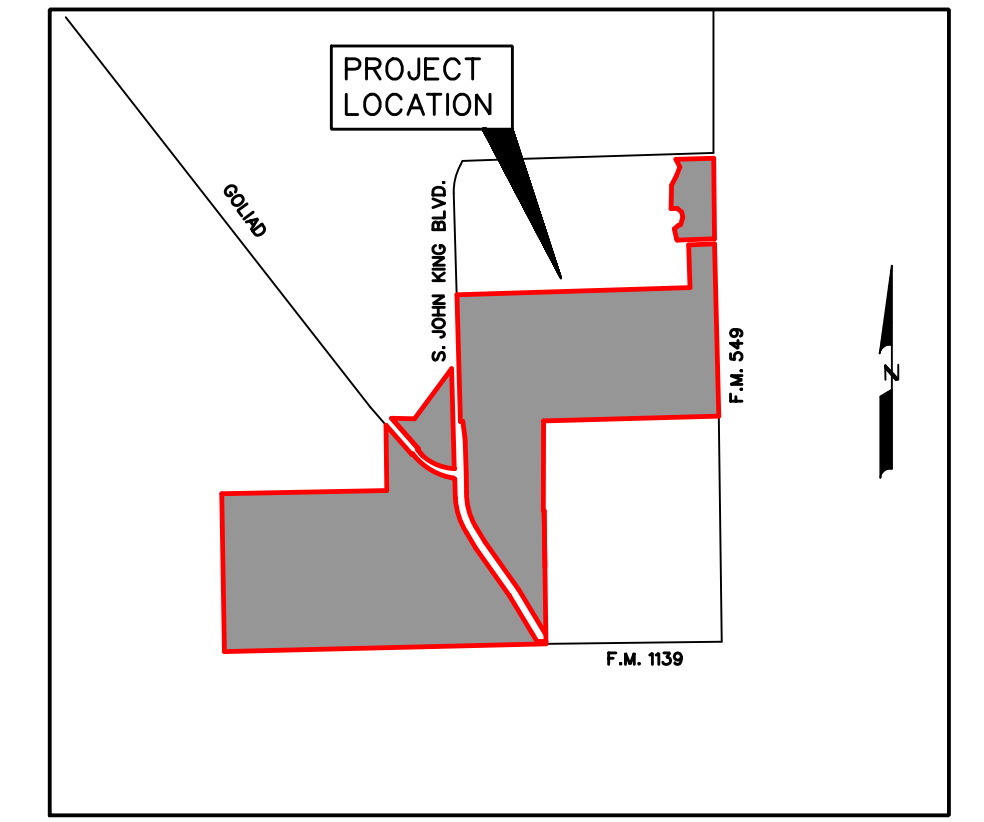
DENSITY CALCULATIONS

TOTAL RESIDENTIAL LOTS - 885
 DENSITY ON GROSS - 1.65

TOTAL FLOODPLAIN ACRES - 79.85
 OPEN SPACE REQUIRED - 107.28

OPEN SPACE CALCULATION

CITY PARKS - 33.00
 CITY WATER TOWER - 1.97
 FLOODPLAIN @ 50% - 39.93
 PRIVATE OPEN SPACE - 65.78
 AMENITIES CENTERS - 6.4
 TOTAL OPEN SPACE - 135.97
 EXCESS OPEN SPACE - 28.69



TOTAL ACRES	536.42
GROSS COMMERCIAL ACRES	41.0
TOTAL RESIDENTIAL LOTS	885
RESIDENTIAL DENSITY*	1.65
GROSS RESIDENTIAL DENSITY**	1.79
TOTAL FLOOD PLAIN ACRES	87.09
TOTAL OPEN SPACE ACRES	135.97

NOTE:
 * CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES)
 ** CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES-GROSS COMMERCIAL ACRES)

CONCEPT PLAN
 OF
JUNIPER
 SITUATED IN THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
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 1 CARMARTHEN COURT
 DALLAS, TEXAS 75225

SEPTEMBER 2024 SCALE 1" = 400'
 CASE NO. Z2024-048

Lot Type	Min Lot Size	Min Lot Size	Dwelling Units	% Dwel Un	actual sq ftg
1.5 acre	185 x 200	65340	12	1.36%	
1 acre	185 x 200	43560	13	1.47%	37000
3/4 acre	120 X 200	32670	18	2.03%	
100'	100x150	12000	66	7.46%	15000
82'	82x125	9600	168	18.98%	10250
72'	72x125	8640	339	38.31%	9000
62'	62x125	7440	269	30.40%	7750
52'	52x125		0	0.00%	6500
			885	100.00%	

Total Acres 536.42
 Gross Commercial 41
 Total Res Lots 885
 Residential Density = 1.650 = #res lots/total acres
 Gross Res Density 1.786 = #res lots/(total acres-gross commercial)
 Total Flood Plain Acres 79.85
 Total Open Space Acres 135.97

Loftland
24006

Phase 1	
Lot Size	Total
62'	47
72'	83
82'	47
100'	20
1 Acre	0
Total	197

Phase 3	
Lot Size	Total
62'	41
72'	97
82'	25
100'	18
1 Acre	0
Total	181

Phase 4	
Lot Size	Total
62'	0
72'	34
82'	74
100'	28
1 Acre	0
Total	136



Phase 6	
Lot Size	Total
62'	0
72'	0
82'	0
100'	0
0.75 Acre	18
1.0 Acre	13
1.5 Acre	12
Total	43

Phase 5	
Lot Size	Total
62'	120
72'	31
82'	0
100'	0
1 Acre	0
Total	151

Phase 2	
Lot Size	Total
62'	61
72'	94
82'	22
100'	0
1 Acre	0
Total	177

All Phases	
Lot Size	Total
62'	269
72'	339
82'	168
100'	66
0.75 Ac	18
1.0 Ac	13
1.5 Ac	12
Total	885

Legend

-  Boundary Area
-  Rockwall City Limits



Rockwall

CORPORATE CROSSING

IH 30

SH 276

S FM 549

205

HORIZON RD

FM 549

Heath

McLendon-Chisholm



0 0.25 0.5 Miles

Date: 7/29/2024

MEADOWCREEK ESTATES
584 Lots
200.26 ac
2.92 DU/AC

LOFLAND FARMS
401 Lots
130.52 ac
3.07 DU/AC

STERLING FARMS
48 Lots
77.74 ac
0.62 DU/AC

TIMBER CREEK
242 Lots
90.65 ac
2.67 DU/AC

HICKORY RIDGE
544 Lots
191.83 ac
2.84 DU/AC

THE MCLENDON COMPANIES
5 Lots
32.65 ac
0.15 DU/AC

TERRACINA
352 Lots
179.91 ac
1.50 DU/AC

FONTANNA RANCH
208 Lots
111.05 ac
1.87 DU/AC

PEACHTREE MEADOWS
292 Lots
140.5 ac
2.27 DU/AC

LOFLAND LAKE ESTATES
15 Lots
66.1 ac
0.23 DU/AC

SOMERSET PARK
309 Lots
139.31 ac
2.22 DU/AC

HOMESTEAD
490 Lots
196.01 ac
2.49 DU/AC

LAKE ROCKWALL ESTATES - EAST
638 Lots
156.99 ac
4.06 DU/AC

OAKS OF BUFFALO WAY
65 Lots
117.63 ac
0.55 DU/AC

WILLOWCREST
28 Lots
48.04 ac
0.58 DU/AC

WALLACE
3 Lots
8.17 ac
0.37 DU/AC

CONOVER
2 Lots
5.46 ac
0.37 DU/AC

BREWER BEND
3 Lots
5.41 ac
0.55 DU/AC

SOUTHSIDE HILLS
384 Lots
264.5 ac
1.45 DU/AC

16 SOUTH CENTRAL RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The *South Central Residential District* contains a mixture of established medium and low density residential subdivisions along with several large vacant tracts of land designated for low density residential land uses. At the center of the district, the Rockwall Independent School District (RISD) acquired a large tract of land that is the home of the new Career Academy School, with potential plans to add a stadium, high school, and middle school to the property in the future. In addition, the realignment of SH-276 will create a major intersection at the corner of SH-205 and SH-276 that is anticipated to be a major commercial corner after the completion of the realignment. Having some of the largest tracts of undivided land, the *South Central Residential District* is an ideal place for low-density master planned communities that are highly amenitized.

POINTS OF REFERENCE

- A. Meadow Creek Estates Subdivision
- B. Hickory Ridge Subdivision
- C. Lofland Farms Subdivision
- D. RISD's Career Academy
- E. Somerset Park Subdivision
- F. Sterling Farms Subdivision
- G. Fontanna Ranch Subdivision
- H. Timber Creek Subdivision

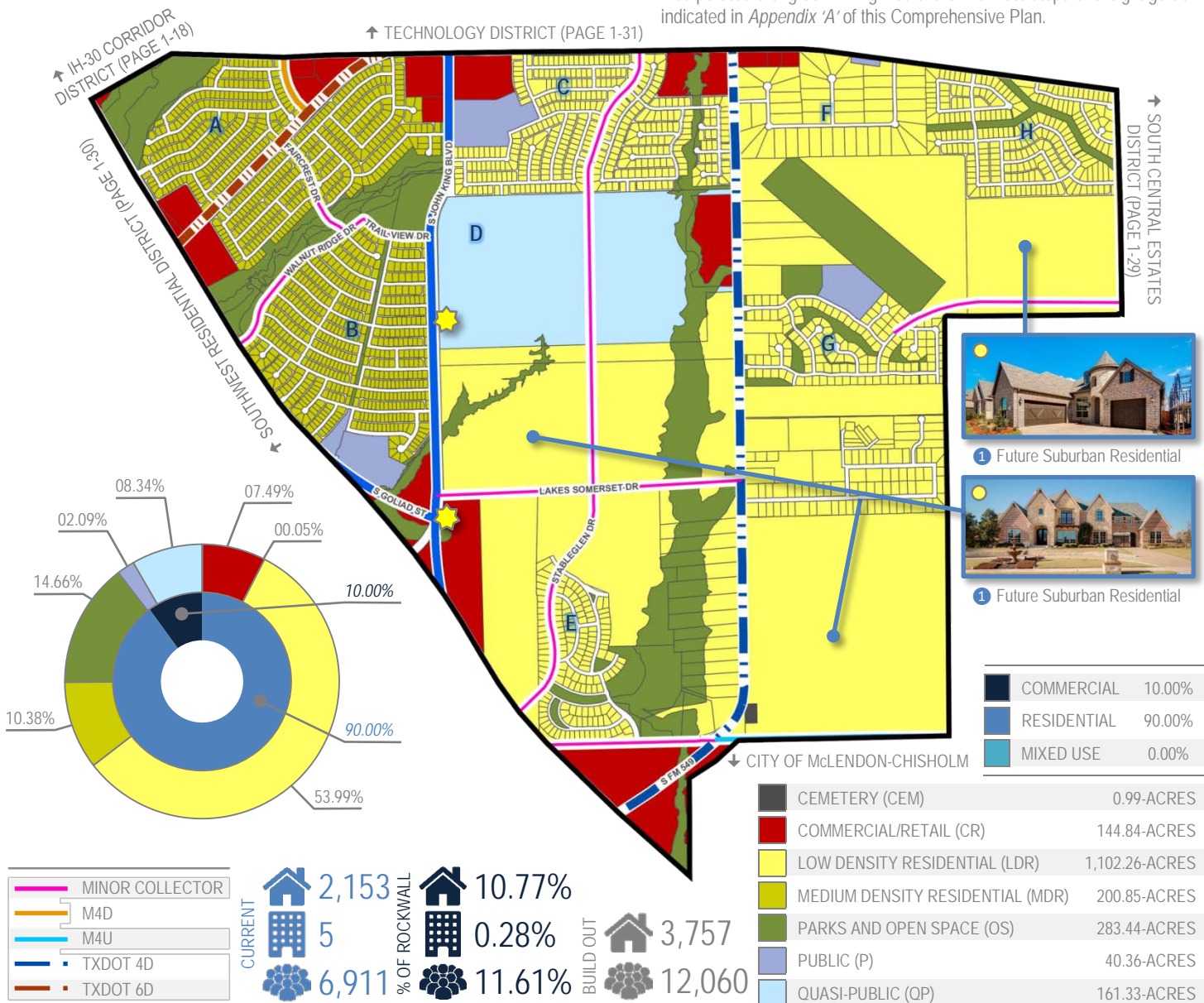
LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

DISTRICT STRATEGIES

The *South Central Residential District* is anticipated to add additional suburban developments in the western and southern areas of the district. Taking this into consideration the following are the strategies for this district:

- 1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern districts. These developments should include a mix of larger to mid-sized lots.
- 2 **Commercial Land Uses.** Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.
- 3 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'A' of this Comprehensive Plan.



18 SOUTHWEST RESIDENTIAL DISTRICT

DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

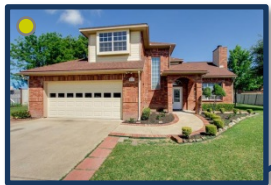
2 Commercial/Industrial Land Uses. The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 Transitional Areas. The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street). The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



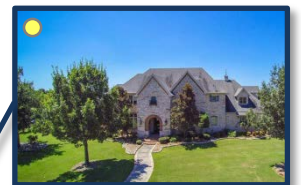
1 Current Suburban Residential



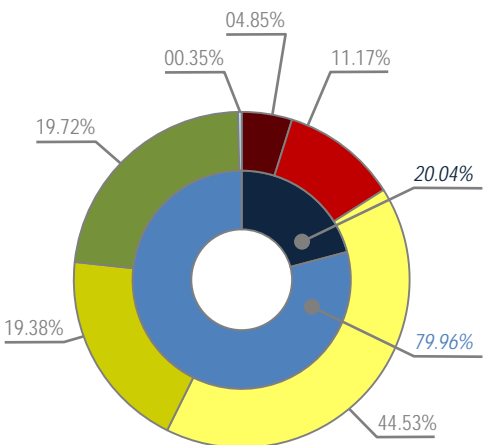
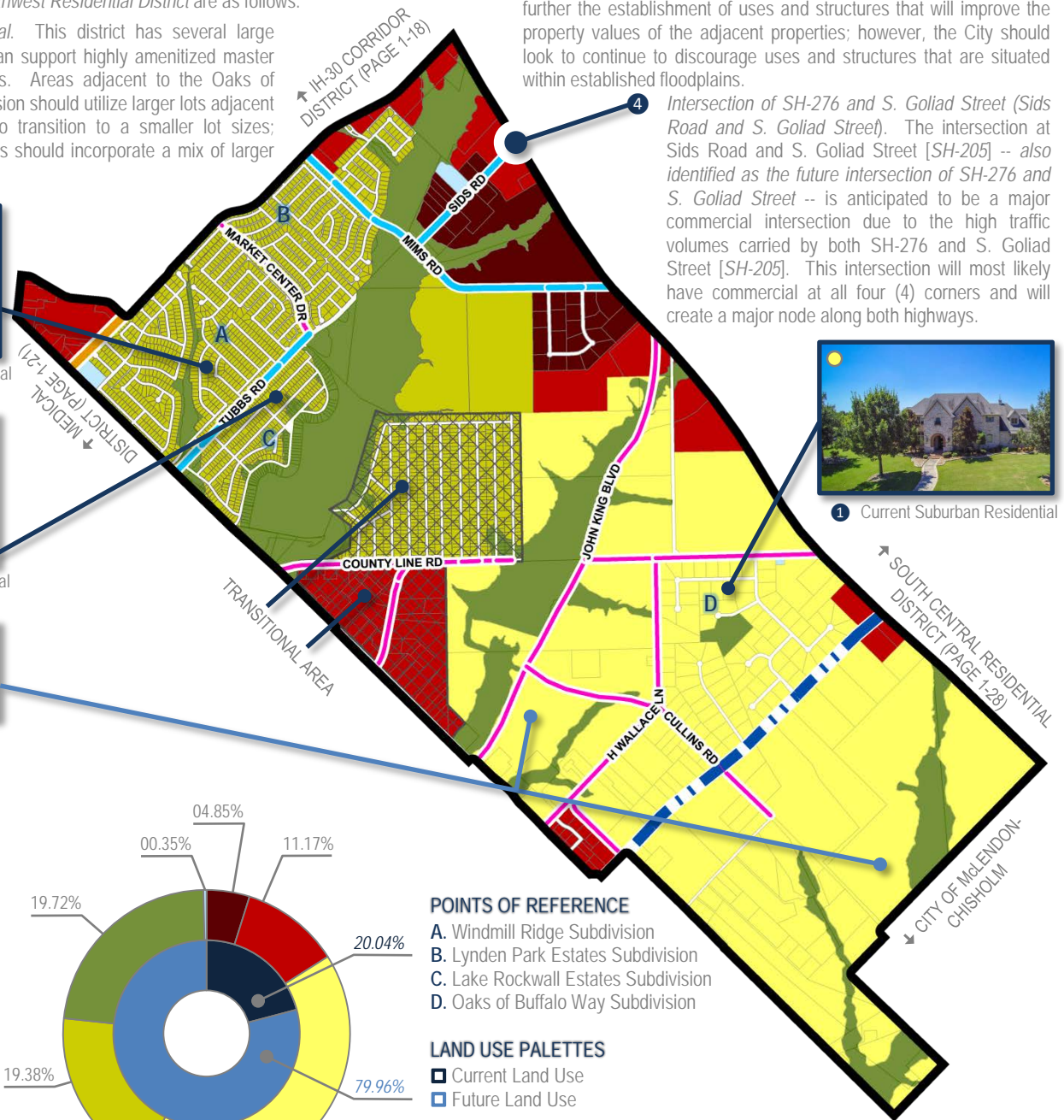
1 Current Suburban Residential



1 Future Suburban Residential



1 Current Suburban Residential



POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

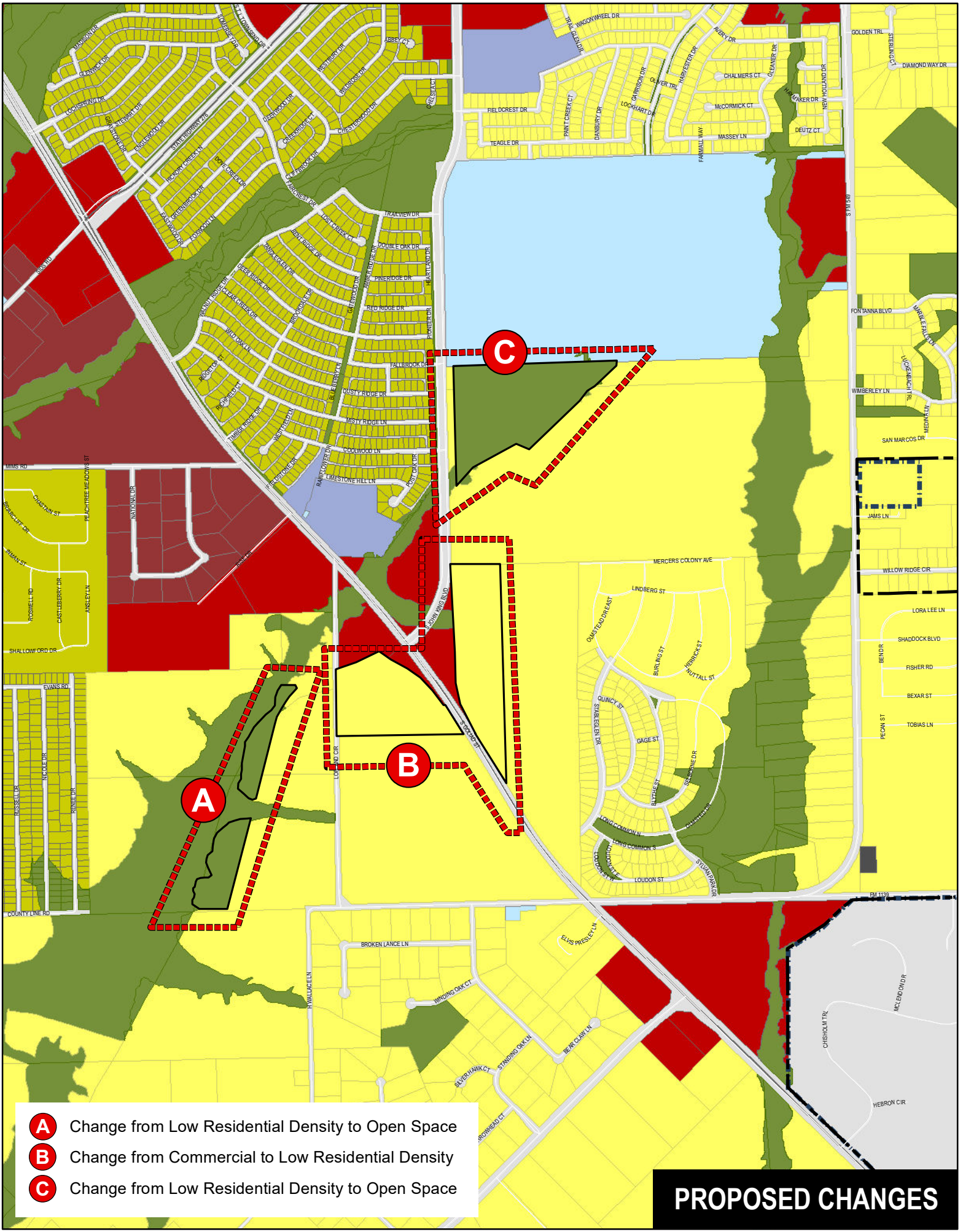
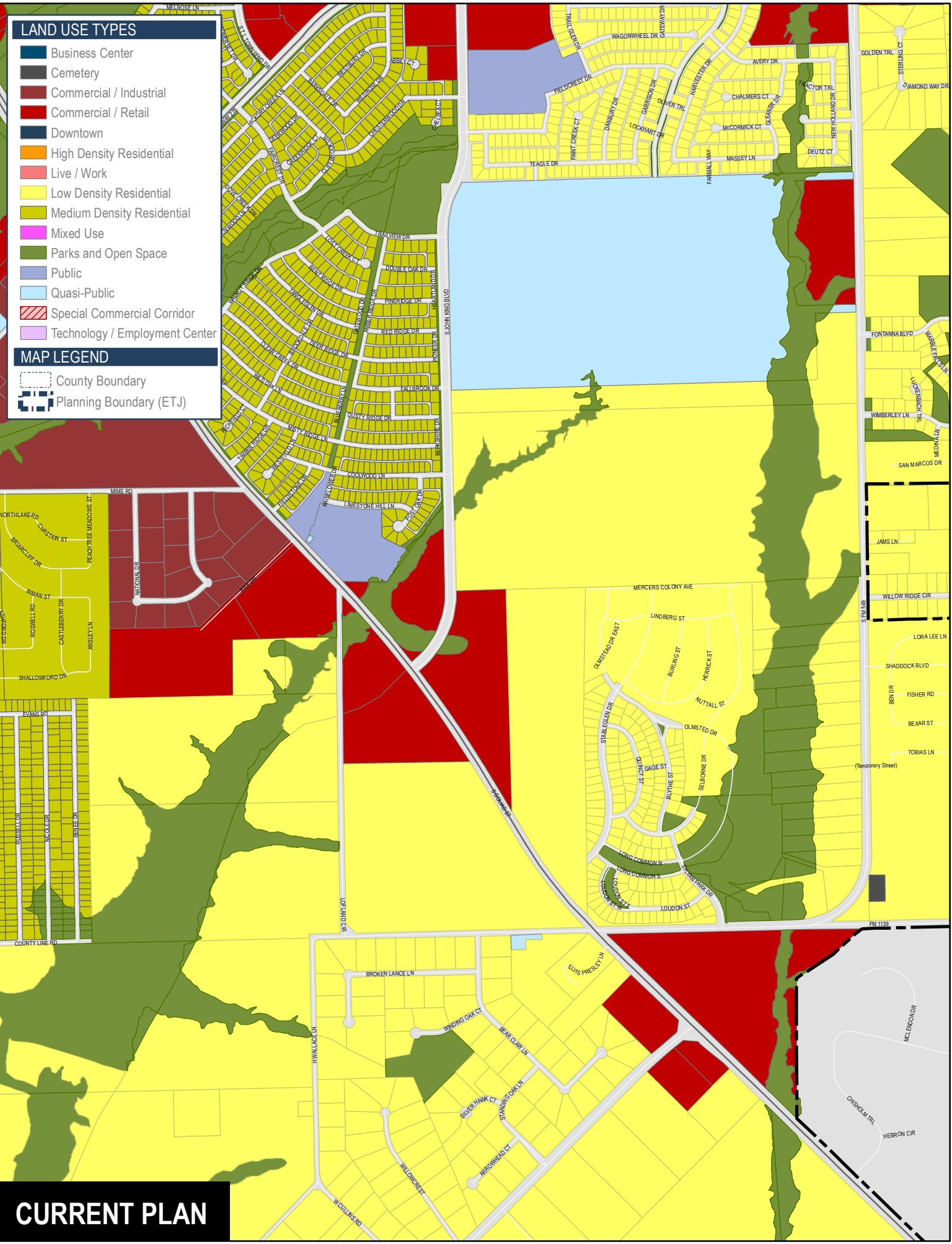
LAND USE PAlettes

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 10 (SF-10) DISTRICT AND GENERAL RETAIL (GR) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 536.4297-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 3 & 3-1 OF THE A. JOHNSON SURVEY, ABSTRACT NO. 123; TRACTS 7 & 7-2 OF THE W. H. BAIRD SURVEY, ABSTRACT NO. 25; AND TRACTS 3 & 4 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District and General Retail (GR) District land uses, on a 536.4297-acre tract of land identified Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the *Subject Property*;

SECTION 3. That development of the trails and trail heads for the *Subject Property* shall generally be in accordance with the *Trail and Trail Head Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the amenities for the *Subject Property* shall generally be in accordance with the *Amenity Center Guidelines*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* and *Trail Layout Plan* depicted in *Exhibit 'D'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 7. That residential development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 7(b) through 7(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City

concurrently with a *Master Parks and Open Space Plan* application for the development.

- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 8. That commercial development on the *Subject Property* shall be in conformance with the process and procedures stipulated by this Planned Development District ordinance, the City's subdivision regulations, and the Unified Development Code (UDC);

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 21ST DAY OF OCTOBER, 2024.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 21, 2024

2nd Reading: November 4, 2024

DRAFT
ORDINANCE
10.15.2024

Exhibit 'A':
Legal Description

BOUNDARY 1

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found at the northwest corner of a called 139.308-acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308-acre tract, at a distance of 973.07-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01-feet to a ½-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57-feet;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90-feet;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10-feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03-feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99-feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the northeast line of said SH 205, a distance of 19.60-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 06 degrees 20 minutes 55 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 1,275.25-feet (Chord Bearing North 34 degrees 13 minutes 17 seconds West - 1,274.59-feet), to the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93-feet and a central angle of 52 degrees 52 minutes 54 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 927.51-feet (Chord Bearing North 24 degrees 59 minutes 44 seconds East - 894.94-feet), to the point of tangency;

Exhibit 'A':
Legal Description

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35-feet to a ½-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00-acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00-acre tract, a distance of 3,696.05-feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54-feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00-acre tract, a distance of 669.62-feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00-acre tract, a distance of 393.66-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16-feet;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97-feet;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00-feet;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16-feet;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00-feet;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71-feet to a ½-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308-acre tract;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308-acre tract, a

Exhibit 'A':
Legal Description

distance of 1,672.69-feet to the *POINT OF BEGINNING* and containing 268.2965-acres of land.

BOUNDARY 2

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120-acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60-acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05-acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598-acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72-acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72-acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81-feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01-feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29-feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East 116.29-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tangent curve to the right, having a radius of 11,389.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95-feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East 496.91-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 08 degrees 54 minutes 51 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,775.05-feet (Chord Bearing South 35 degrees 28 minutes 22 seconds East 1,773.26-feet) to a point from which a found 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap bears North 55 degrees 23 minutes 36 seconds East, a distance of 2.26-feet;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the southwest line of said SH 205, a distance of 44.21-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 299.87-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56-feet to a point on a non-tangent curve to the left, having a radius of 5,105.59-feet

Exhibit 'A':
Legal Description

and a central angle of 12 degrees 47 minutes 28 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.82-feet (Chord Bearing South 38 degrees 03 minutes 30 seconds East 1,137.45-feet) to the south line of said Lofland 72-acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72-acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42-feet passing the southwest corner of said Lofland 72-acre tract and the southeast corner of said Lofland 60-acre tract, continuing with the south line of said Lofland 60-acre tract and the north line of said Lofland Circle, a total distance of 2,789.02-feet to the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60-acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98-feet to the southwest corner of said Lofland 60-acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60-acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25-feet to the northwest corner of said Lofland 60-acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60-acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28-feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 2022000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60-acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98-feet to a 1/2-inch iron rod found at the southeast corner of Layza & Luna tract and the southwest corner of said Forrest tract, continuing with the north line of said Lofland 60-acre tract and the south line of said Forrest tract, a total distance of 2,545.43-feet to the southeast corner of said Forrest tract, being in the west line of said Lofland 72-acre tract;

THENCE North 01 degree 05 minutes 11 seconds West, with the west line of said Lofland 72-acre tract and the east line of said Forrest tract, a distance of 571.91-feet to the *POINT OF BEGINNING* and containing 242.8992-acres of land.

BOUNDARY 3

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 20200000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.C.T.), being in an interior south line of a called 173.00-acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85-feet;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a

**Exhibit 'A':
Legal Description**

distance of 50.00-feet;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00-feet;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12-feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74-feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00-acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76-feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00-acre tract and generally along said creek, a distance of 15.83-feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60-feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13-feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44-feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88-feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55-feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30-feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61-feet;

THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60-feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10-feet;

THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77-feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42-feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01-feet to the *POINT OF BEGINNING* and containing 16.89-acres of land.

BOUNDARY 4

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

Exhibit 'A':
Legal Description

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93-feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60-feet to the point of curvature of a curve to the right, having a radius of 894.93-feet and a central angle of 52 degrees 46 minutes 14 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 824.25 (Chord Bearing South 24 degrees 56 minutes 28 seconds West 795.42-feet), to the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 01 degree 59 minutes 12 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the left, an arc distance of 399.07-feet (Chord Bearing North 38 degrees 56 minutes 12 seconds West 399.05-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00-feet the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05-feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West 503.01-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00-feet to the point of curvature of a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75-feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West 161.75-feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed ½-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86-feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07-feet to the southernmost southeast corner of said Hickory Ridge Phase Four;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17-feet to the *POINT OF BEGINNING* and containing 15.5866-acres of land.

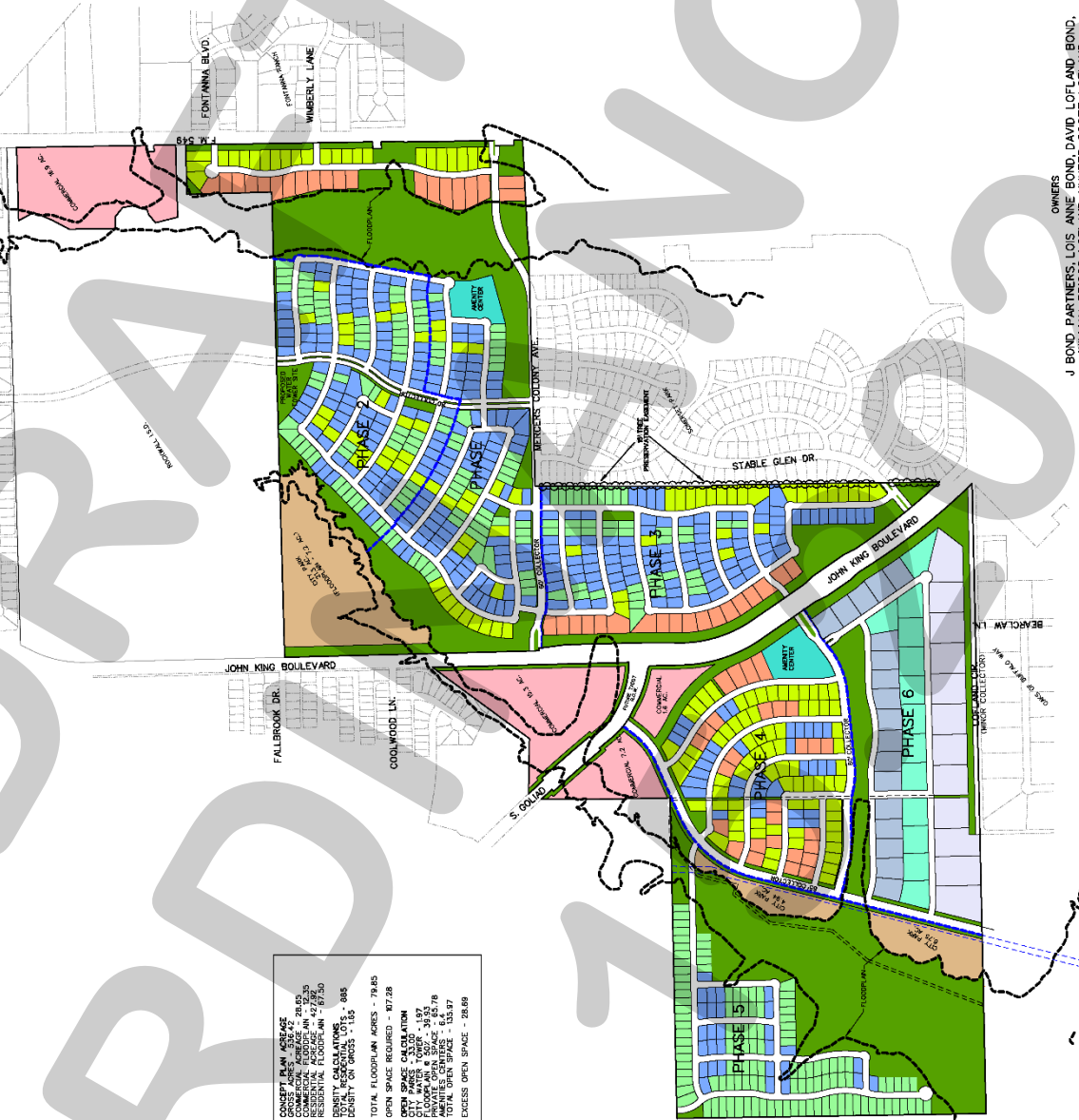
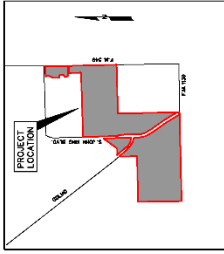
Exhibit 'B': Survey



Exhibit 'B': Survey



Exhibit 'C': Concept Plan



CONCEPT PLAN ACREAGE

COMMERCIAL ACREAGE	28.45
RESIDENTIAL ACREAGE	427.92
TOTAL ACREAGE	456.37
RESIDENTIAL LOTS	885
RESIDENTIAL DENSITY*	1.95
TOTAL FLOODPLAIN ACREAGE	79.65
OPEN SPACE REQUIRED	87.28
OPEN SPACE CALCULATION	
FLOODPLAIN ACREAGE	79.65
AMENITY CENTER	6.4
CITY PARK	33.00
COMMERCIAL	41.0
TOTAL OPEN SPACE	155.97
EXCESS OPEN SPACE	28.69

LEGEND

TYPICAL LOT SIZES	
- TYPE A - 1.5 AC. - 12 LOTS	
- TYPE B - 1.0 AC. - 13 LOTS	
- TYPE C - 0.75 AC. - 18 LOTS	
- TYPE D - 100' X 150' - 66 LOTS	
- TYPE E - 80' X 125' - 188 LOTS	
- TYPE F - 72' X 125' - 338 LOTS	
- TYPE G - 62' X 125' - 288 LOTS	
- OPEN SPACE - 135.97 AC.	
- AMENITY CENTER - 6.4 AC.	
- CITY PARK - 33.00 AC.	
- COMMERCIAL - 41.0 AC.	

TOTAL ACRES	536.42
GROSS COMMERCIAL ACRES	41.0
TOTAL RESIDENTIAL LOTS	885
RESIDENTIAL DENSITY**	1.65
GROSS RESIDENTIAL DENSITY**	1.79
TOTAL FLOOD PLAN ACRES	87.09
TOTAL OPEN SPACE ACRES	155.97
TOTAL ACRES AT 100% RES LOTS/TOTAL ACRES	456.37
TOTAL ACRES-GROSS COMMERCIAL ACRES	41.0

CONCEPT PLAN
OF
JUNIPER

W.H. BAIRD SURVEY, ABSTRACT NO. 25
A. JOHNSON SURVEY, ABSTRACT NO. 123
J.R. JOHNSON SURVEY, ABSTRACT NO. 128
IN THE
COUNTY OF ROCKWALL,
STATE OF TEXAS

OWNERS
J. BOND, PARTNERS, LOIS ANNE AND DAVID LOFLAND, BOND,
WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
GILLIAN GRANT LOFLAND, SHERIE & EVELYN RUTH LOFLAND
PREPARED BY
CORWIN ENGINEERING INC.
302 W. BELMONT, SUITE E
ALLEN, TEXAS 75003
SEPTEMBER 2024 SCALE 1" = 400'

Exhibit 'D': Entry Signage and Trail Plan

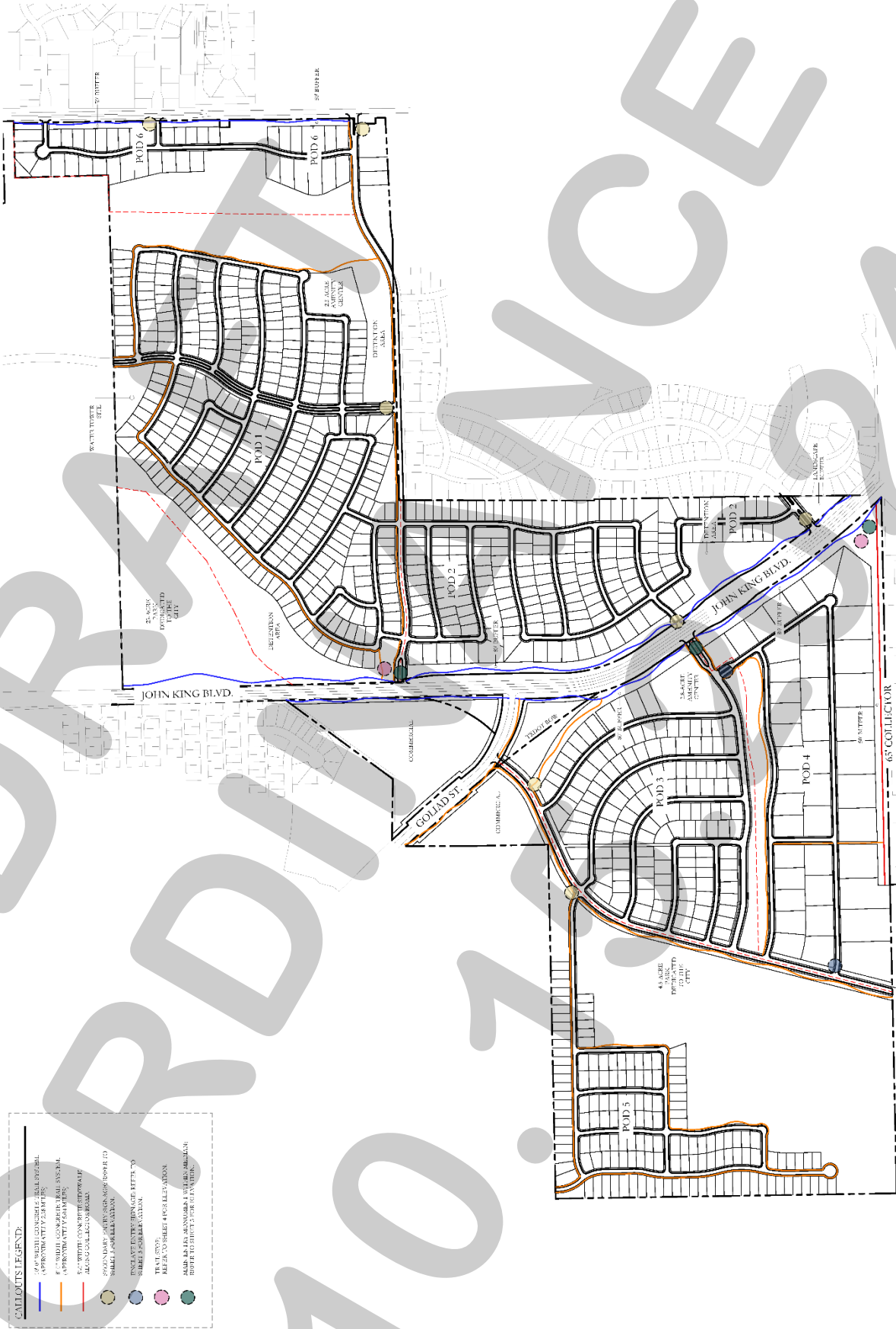


Exhibit 'E':
Amenity Centers

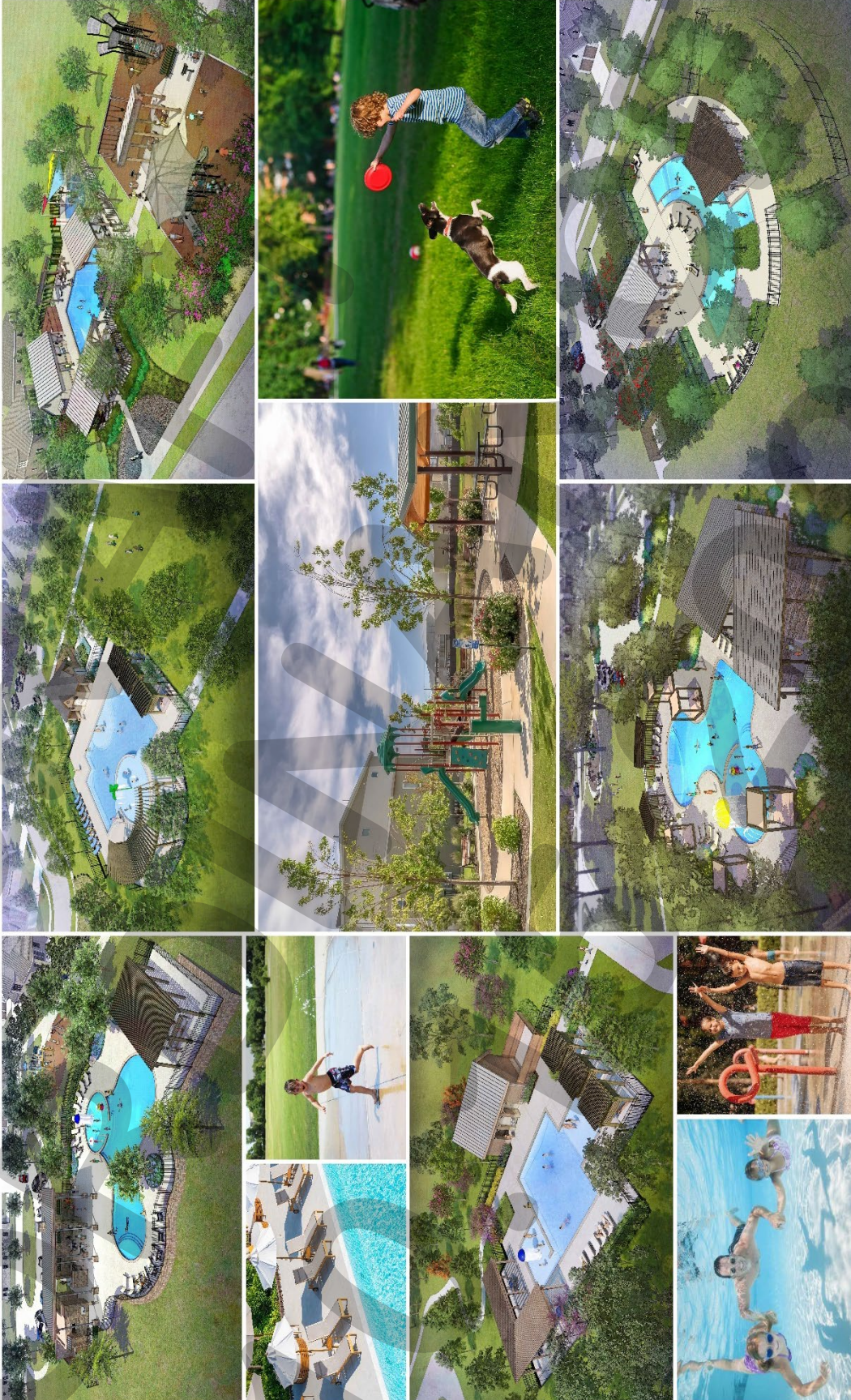


Exhibit 'F':
Density and Development Standards

(1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:

(a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

(b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for *Commercial* land uses as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and subject to the approval of a *PD Development Plan* and *PD Site Plan* in accordance with the Planned Development District regulations contained in Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC); however, the following uses are expressly prohibited:

- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- CONVENT, MONASTERY, OR TEMPLE
- COMMERCIAL PARKING GARAGE
- RESIDENCE HOTEL
- MOTEL
- CEMETERY/MAUSOLEUM
- CONGREGATE CARE FACILITY/ELDERLY HOUSING
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPITAL
- MORTUARY OR FUNERAL CHAPEL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- RETAIL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
- TRADE SCHOOL
- MINOR AUTO REPAIR GARAGE
- SELF SERVICE CAR WASH
- SERVICE STATION
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- ANTENNA DISH
- COMMERCIAL FREESTANDING ANTENNA
- HELIPAD
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY

**Exhibit 'F':
Density and Development Standards**

- (2) **Residential Lot Composition and Layout.** The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS (#)	DWELLING UNITS (%)
A	185' x 200'	65,340 SF	12	01.36%
B	185' x 200'	43,560 SF	13	01.47%
C	120' x 200'	32,670 SF	18	02.03%
D	100' x 150'	12,000 SF	66	07.46%
E	82' x 125'	9,600 SF	168	18.98%
F	72' x 125'	8,640 SF	339	38.31%
G	62' x 125'	7,440 SF	269	30.40%
<i>Maximum Permitted Units:</i>			885	100.00%

- (3) **Density and Dimensional Requirements.** Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:

- (a) **Residential.** Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 1.65 dwelling units per gross acre of land; however, in no case should the proposed development exceed 885 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D	E	F	G
<i>Minimum Lot Width</i> ⁽¹⁾	185'	185'	120'	100'	82'	72'	62'
<i>Minimum Lot Depth</i>	200'	200'	200'	150'	125'	125'	125'
<i>Minimum Lot Area (SF)</i>	65,340	43,560	32,670	12,000	9,600	8,640	7,440
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	30'	30'	30'	30'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	15'	15'	15'	10'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	15'	15'	15'	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i> ⁽⁸⁾	20'	20'	20'	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	30'	30'	30'	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF)</i> ⁽⁷⁾	3,500	3,500	3,200	3,200	2,800	2,800	2,750
<i>Maximum Lot Coverage</i>	40%	40%	50%	50%	65%	65%	65%
<i>Minimum Garage Parking Spaces</i>	3	3	3	3	3	3	2

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed

Exhibit 'F':
Density and Development Standards

room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.
- 7: Air-conditioned space.
- 8: No drive approach for a residential lot shall be situated to allow access on a collector or arterial roadway except as otherwise depicted on the concept plan for the two (2) lots fronting on to Mercers Colony.

(b) ***Non-Residential.*** Except as modified by this Planned Development District ordinance, the non-residential land uses on the *Subject Property* shall be required to meet the development standards stipulated by the *General Overlay District Standards*, *General Commercial District Standards*, and the standards required for the General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) for a property in a General Retail (GR) District. In addition, the *Commercial* area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the *Commercial* area and through the use of a 50-foot landscape buffer utilizing a berm and three (3) tiered screening (*i.e.* [1] *a small to mid-sized shrub*, [2] *large shrubs or accent trees*, and [3] *canopy trees on 20-foot centers*), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

(4) ***Building Standards for Residential.*** All residential development shall adhere to the following building standards:

(a) ***Masonry Requirement.*** The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardyBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80.00% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



Exhibit 'F':
Density and Development Standards

FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation and Garage Doors.** This development shall adhere to the following garage design standards and orientation requirements:
 - (1) **Type 'A', 'B', 'C', 'D', 'E' & 'F' Lots.** The *Type 'A', 'B', 'C', 'D', 'E' & 'F' Lots* shall be oriented in a *traditional swing (or j-swing)* garage configuration -- *where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration.* In a *traditional swing (or j-swing)* garage configuration, a second (*single or double*) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional swing (or j-swing)* configuration.
 - (2) **Type 'G' Lots.** A total of 60.27% or 179 of the *Type 'G' Lots* may have garage configurations that are oriented in a *Front Entry* garage configuration (*i.e. where the garage door faces the street*); however, the front façade of the garage shall be setback a minimum of five (5) feet behind the front façade of the primary structure and the front yard building setback shall increased to 25-feet. The remaining 39.73% or 118 of the *Type 'G' Lots* shall be oriented in a *traditional swing (or j-swing)* garage configuration -- *where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration.* In a *traditional swing (or j-swing)* garage configuration, a second (*single or double*) garage door facing

Exhibit 'F':
Density and Development Standards

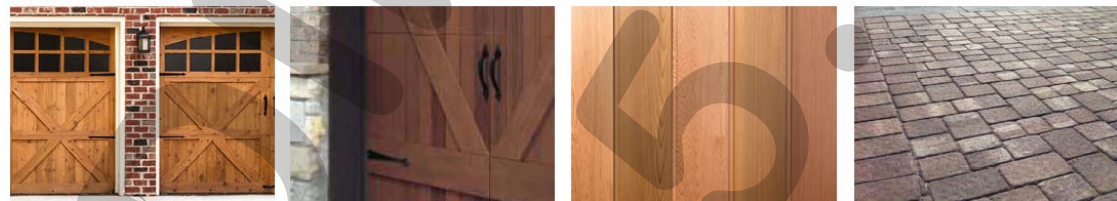
the street is permitted if it is behind the width of the double garage door in the *traditional swing (or j-swing)* configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, the following architectural elements must be incorporated into all garage configurations: [1] carriage style hardware and lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

FIGURE 4. EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS

CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

... CONTINUED ON NEXT PAGE

**Exhibit 'F':
Density and Development Standards**

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



- (5) **Anti-Monotony Restrictions.** The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 7 & 8* below).

TABLE 3: ANTI-MONOTONY MATRIX

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	185' x 200'	(1), (2), (3), (4), (5)
B	185' x 200'	(1), (2), (3), (4), (5)
C	120' x 200'	(1), (2), (3), (4), (5)
D	100' x 150'	(1), (2), (3), (4), (5)
E	82' x 125'	(1), (2), (3), (4), (5)
F	72' x 125'	(1), (2), (3), (4), (5)
G	62' x 125'	(1), (2), (3), (4), (5)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:

- (1) Number of Stories

Exhibit 'F':
Density and Development Standards

- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (5) Garage Orientation

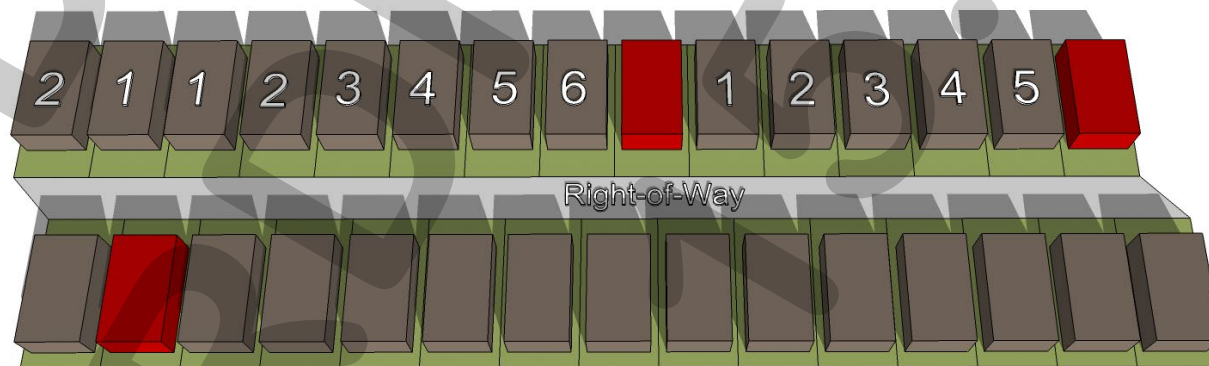
(c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

(d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 7. PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



FIGURE 8. PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



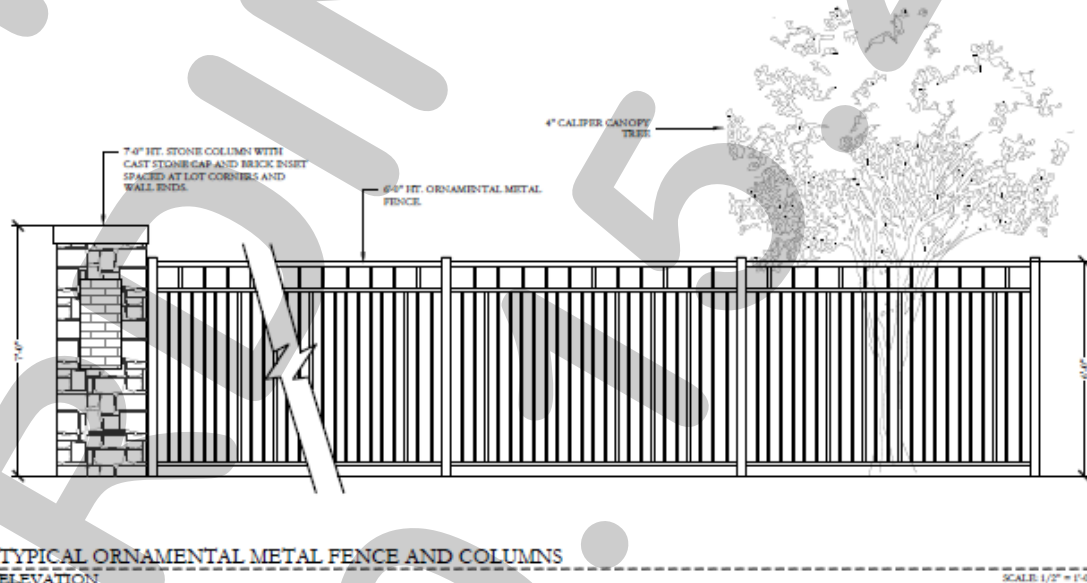
(6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

(a) **Front Yard Fences.** Front yard fences shall be prohibited.

Exhibit 'F':
Density and Development Standards

- (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height; however, all lots that back up to the proposed *Water Tower Site -- as depicted in Exhibit 'C' of this ordinance --* shall be permitted to have wood fences in accordance with the requirements of Subsection (6)(b) above.
- (d) Corner Lots. Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot center spacing that begins at the rear property line corner and terminates ten (10) feet behind the front yard building setback line (*see Figure 9*). A maximum of six (6) foot wrought iron fence shall be constructed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of ten (10) feet. The property owner shall be required to maintain both sides of the fence.

FIGURE 9. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS



- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.

Exhibit 'F':
Density and Development Standards

undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 50-foot landscape buffer. All residential lots backing to FM-549 shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines.

- (4) *Landscape Buffer and Sidewalks (Perimeter Minor Collectors)*. A minimum of a 30-foot landscape buffer shall be provided along all *Perimeter Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.
- (5) *Landscape Buffer and Sidewalks (Minor Collectors with the Exception of Stable Glen Drive)*. A minimum of a ten (10) foot landscape buffer shall be provided along all *Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
- (6) *Landscape Buffer and Sidewalks (Lofland Circle)*. A minimum of a 50-foot landscape buffer shall be provided along Lofland Circle across from the existing residential lots in the Oaks of Buffalo Way subdivision after which point the landscape buffer may be reduced to ten (10) feet. The segment of landscape buffer that is required to be 50-feet wide shall incorporate a minimum of a 48-inch berm and a five (5) foot meandering sidewalk along the entire landscape buffer. The entire landscape buffer along Lofland Circle shall incorporate a solid living screen utilizing evergreen trees - *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers; however, the existing tree line may be used to meet the requirements of this section.
- (7) *Commercial Landscape Buffer (Adjacent to Residential Properties)*. A minimum of a 50-foot landscape buffer with a minimum of a 48-inch continuous *built-up* berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) shall be provided on commercial properties that have direct adjacency to residential properties as generally depicted in *Exhibit 'C'* of this ordinance.
- (8) *Landscape Screening in the Western Triangle South of Stable Glen Drive (Adjacent to the Somerset Park Subdivision)*. In order to create a solid living screen adjacent to the homes in the Somerset Park Subdivision that will back to the proposed open space on the west side of SH-205 (*i.e. south of Stable Glen Drive*) a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, will be planted on ten (10) foot centers along the entire adjacency.

Exhibit 'F':
Density and Development Standards

- (9) *Tree Preservation Easement (Adjacent to the Somerset Park Subdivision)*. A minimum of a 20-foot *Tree Preservation Easement* shall be provided along the western boundary of Phase 3 adjacent to the Somerset Park Subdivision in the location depicted on the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. This *Tree Preservation Easement* shall be dedicated on the approved subdivision plat, and is intended to protect all existing trees that are a minimum of three (3) caliper inches or greater. Trees greater than three (3) caliper inches in size may be removed after the property owner requests the removal from the City of Rockwall, and the City of Rockwall determines that the tree is damaged, diseased, or poses a risk to persons or property. All trees removed without the approval of the City of Rockwall shall be in violation of Article 09, *Tree Preservation*, of the Unified Development Code (UDC) and subject to any penalties outline in this *Article*.
- (c) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) *Residential Lot Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such

**Exhibit 'F':
Density and Development Standards**

lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space/Public Park. The development shall consist of a minimum of 20.00% open space (or a minimum of 108.066-acres -- as calculated by the formula stipulated in the Comprehensive Plan), and generally conform to the Concept Plan contained in Exhibit 'C' of this ordinance.
- (13) Amenity Center. Amenity centers shall be constructed in generally the same areas as depicted in Exhibit 'C' of this ordinance and generally in accordance with the images depicted in Exhibit 'E' of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the two (2) amenity centers shall be approved with the PD Site Plan.
- (14) Trails. A concrete trail system shall be constructed generally in the same location as the trail system depicted in Exhibit 'D' of this ordinance, and shall provide connectivity to the proposed parks.
- (15) Trail Rest Stop. A trail rest stop shall be constructed at the location as depicted in Exhibit 'D' of this ordinance and shall include a rest bench, shade structure, and bike repair station. The final design of the trail rest stop shall generally conform with Figures 11 & 12.

FIGURE 11. TRAIL REST STOP

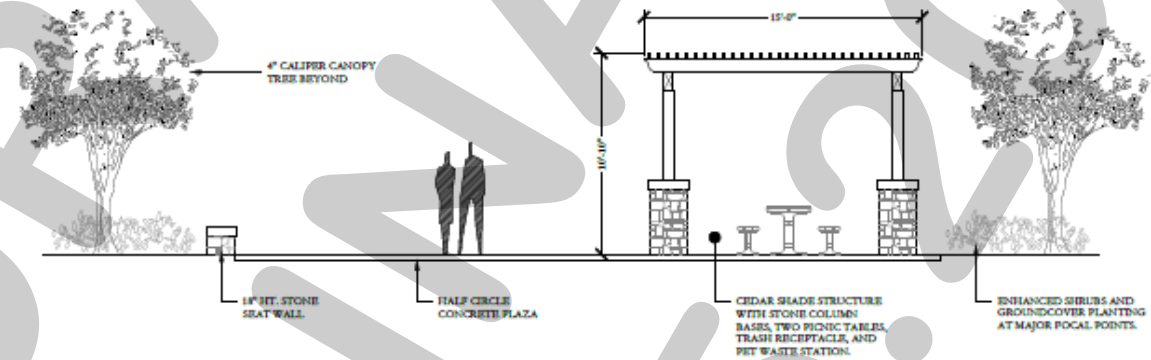


FIGURE 12. TRAIL REST STOP PLAN



**Exhibit 'F':
Density and Development Standards**

- (16) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*; however, they should generally conform with *Figures 13, 14 & 15*.

FIGURE 13. MAIN ENTRY SIGNAGE

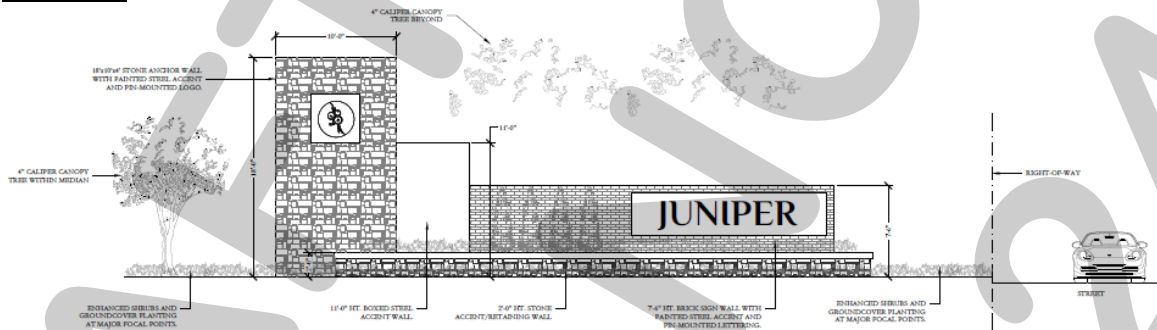


FIGURE 14. SECONDARY ENTRY SIGNAGE

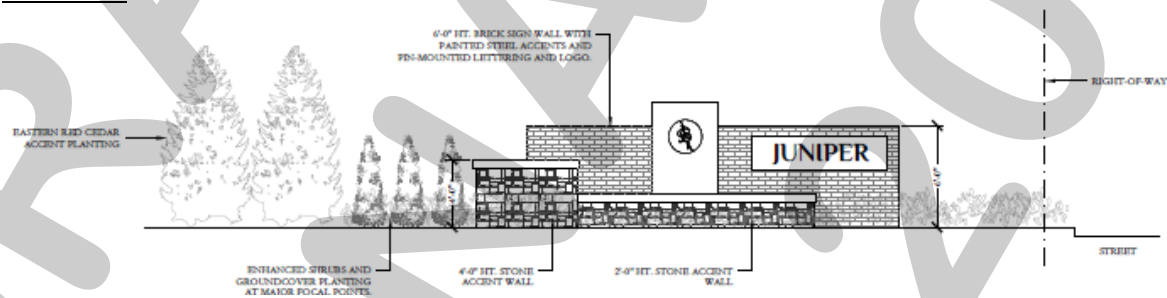
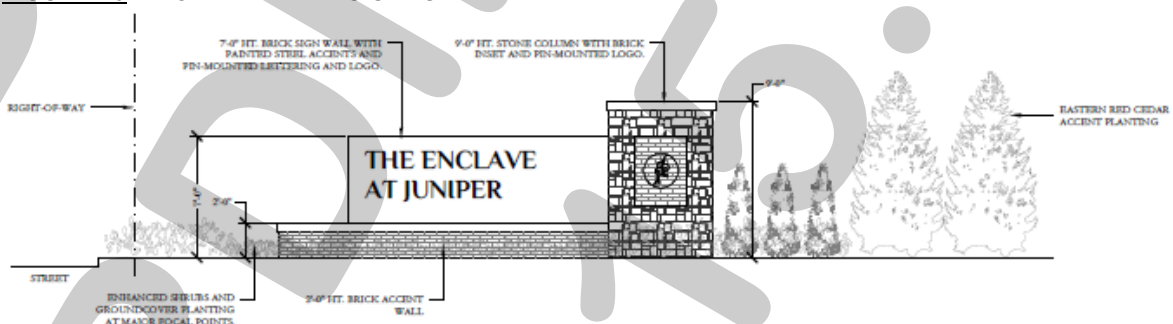


FIGURE 15. ENCLAVE ENTRY SIGNAGE



- (17) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

Exhibit 'F':
Density and Development Standards

- (18) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

DRAFT
ORDINANCE
10.15.2024



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 15, 2024
APPLICANT: McKenzie Joseck, BGE, Inc.
CASE NUMBER: SP2024-040; *Site Plan for 5543 Horizon Road*

SUMMARY

Discuss and consider a request by Mckenzie Joseck of BGE, Inc. on behalf of Shawn Valk of Saro Partners, LLC for the approval of a Site Plan for two (2) *Office Buildings* on a 2.72-acre tract of land identified as Tract 26-4 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 5543 Horizon Road [FM-3097], and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on May 17, 2004 by *Ordinance No. 04-34* [Case No. A2004-001]. On September 7, 2004, the City Council approved a zoning case [Case No. Z2004-027; *Ordinance No. 04-50*] to rezone the subject property from Agricultural (AG) District to Commercial (C) District. According to the Rockwall Central Appraisal District (RCAD) there is an 84 SF storage building, and a 250 SF shed located on the subject property, both constructed in 2009.

PURPOSE

On September 13, 2024, the applicant -- *McKenzie Joseck of BGE, Inc.* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office Building* and a *Gym* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 5543 Horizon Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) tracts of land (*i.e. Tracts 20-01 & 20-02 of the W. W. Ford Survey, Abstract No. 80*), one (1) developed with a single-family home (*i.e. 289 County Line Road*), and one (1) developed with several Commercial (C) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan

South: Directly south of the subject property is Horizon Road [FM-3097], which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall Corporate City Limit.

East: Directly east of the subject property is a 4.97-acre tract of land (*i.e. Tract 26 of the W. W. Ford Survey, Abstract No. 80*), developed with a *Mini-Warehouse Facility*. Beyond this are two (2) parcels of land (*i.e. Lots 1-2 of the Rainbow Acres Addition*) developed with single-family homes. Following this is a 3.466-acre parcel of land (*i.e. Lot 1, Block A, Patriot Paws Addition*) developed with Commercial (C) District land use (*i.e. Patriot Paws*). All of these properties are zoned Commercial (C) District.

West: Directly west of the subject property is Horizon Road [FM-3097], which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 39.347-acre tract of land (*i.e. Tract 93-01 of the E. Teal Survey*,

Abstract No. 207) zoned Agricultural (AG) District. Following this is a 5.68-acre tract of land (i.e. Tract 3-1 of the E. Teal Survey, Abstract No. 207) established as a North Texas Municipal Water District property.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* and a *Gym* are permitted *by-right* land uses in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=2.7391 acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 234.38-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=501.75-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X> 15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X> 10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	20-Feet	X> 20-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=30-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=41.74%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (Office) 1 Parking Space/200 SF (Gym) Total: 112 Parking Spaces	X=115; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=29%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=71%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 15 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 132 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

CONFORMANCE WITH THE CITY’S CODES

The applicant is requesting to construct an *Office Building* on the subject property. According to Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use...” In addition, Subsection 02.02(E)(9), *Recreation, Entertainment and Amusement Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Gym* is defined as a “... public or private facility operated to promote physical health and fitness. Activities may include exercise, physical therapy, training, and education pertaining to health and fitness. Uses or combinations of uses or facilities would typically include -- but are not limited to -- game courts, weight lifting and exercise equipment, aerobics, swimming pools and spas, and running or jogging tracks.” In this case, the applicant’s request for an *Office Building* and *Gym* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 01.06, *Residential Adjacency Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers...” In addition, “(a)s an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees* or [2] *evergreen trees and canopy trees*) along the entire length of the adjacency...” In this case, the applicant is proposing an alternative screening method that incorporates the three (3) tiered landscaping as mid-sized shrubs, large shrubs, and canopy trees; however, the applicant is not providing the wrought iron fence. The proposed screening represents an exception to the Unified Development Code (UDC), and the Planning and

Zoning Commission must include this item with their motion. The proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

- (1) *Building Standards*. According to Subsection 04.01(C), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, all buildings are required to meet the primary and secondary articulation standards as described and depicted in *Figure 7: Commercial Building Articulation Standards*, contained in Article 05, of the UDC. In this case, both of the applicant's buildings do not comply with the primary and secondary articulation standards. This will require an exception from the Planning and Zoning Commission.
- (2) *Residential Adjacency*. According to Subsection 01.06, *Residential Adjacency Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers..." In addition, "(a)s an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e.* [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees* or [2] *evergreen trees and canopy trees*) along the entire length of the adjacency..." In this case, the applicant is proposing an alternative screening method that incorporates the three (3) tiered landscaping, without the wrought iron fence. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time, the applicant is not proposing any compensatory measures. That being said, the applicant's letter details that there is an existing row of trees between the subject property and the residentially used property, and in order to install the required wrought iron fence this row of trees would need to be removed. The applicant believes that "...it is in the best interest of both the current residents and our Client to preserve the existing trees instead of installing an open metal fence in this instance." Staff should note that based on the provided treescape plan only one (1) tree greater than four (4) caliper inches is located on the subject property along this shared property line, which can be seen in the *Figure 1*. Given this, the request to keep the existing trees in lieu of the required wrought iron fence does not appear to offset requested exception to the *Residential Adjacency Standards*. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

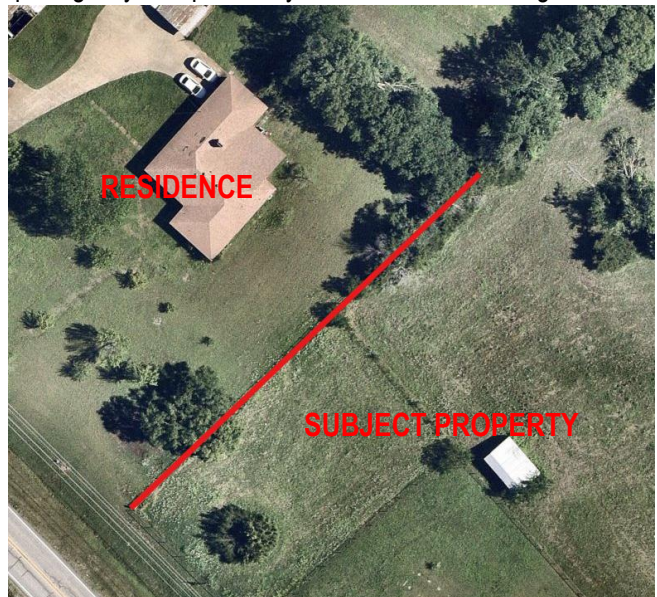


FIGURE 1. AERIAL OF SHARED PROPERTY LINE BETWEEN THE SUBJECT PROPERTY AND THE RESIDENTIALLY USED PROPERTY.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Southwest Residential District* and is designated for *Commercial/Retail* land uses. The *District Strategies* for the *Southwest Residential District* designate the subject property as a *Transitional Area* or an area "...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties ...". In this case, the proposed site plan would establish a development with conforming land uses (*i.e. Office Building and Gym*) and remove two (2) non-conforming accessory buildings. According to Goal 03, *Visual Impacts*, Policy 4, of Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan, "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or "articulated" in architectural terms..." In this case, the applicant is requesting an exception to the articulation requirements; however, as a compensatory measure the applicant is providing stone on the building in amounts of 6.75%-32.17% depending on the façade. The addition of stone brings the proposed building closer in line with Goal 04, *Commercial Building Design*, of Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan, which states that "(a)ll non-residential buildings should ... incorporate high quality materials..." With all that being said, the applicant's request appears to generally conform with the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On September 24, 2024, the Architecture Review Board (ARB) reviewed the proposed building elevations and recommended that the applicant provide stone in lieu of the dark grey stucco, finish the backsides of the parapets, provide a new material sample board, provide an exhibit of the awning projections and articulation, and remove the signage from the building elevations. The Architecture Review Board (ARB) will review the updated elevations at the October 15, 2024 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of an *Office Building* and *Gym* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) The accessory buildings on the subject property must be removed during construction; and,
- (3) The dumpster enclosure must be faced in the same stone material as the primary structure; and,
- (4) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 5573 FM 3097, Rockwall, TX 75032

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION NE side of Horizon Rd approximately 1000ft south of County Line Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C CURRENT USE Undeveloped/Agricultural

PROPOSED ZONING No Change PROPOSED USE Commercial Office/Retail

ACREAGE 2.72 AC LOTS [CURRENT] 1 LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Saro Partners, LLC

APPLICANT BGE Inc.

CONTACT PERSON Shawn Valk

CONTACT PERSON Mckenzie Joseck

ADDRESS 1450 S. T L Townsend, Suite 100

ADDRESS 700 N Pearl St.

Suite 2100

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP Dallas, TX 75201

PHONE 469-222-1597

PHONE 972-372-9423

E-MAIL Shawnavalk@gmail.com

E-MAIL mjoseck@bgeinc.com

NOTARY VERIFICATION [REQUIRED]

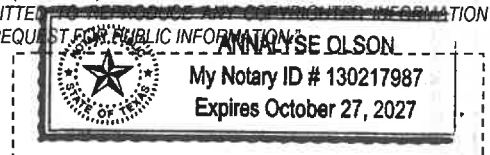
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shawn Valk [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 10 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF September, 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

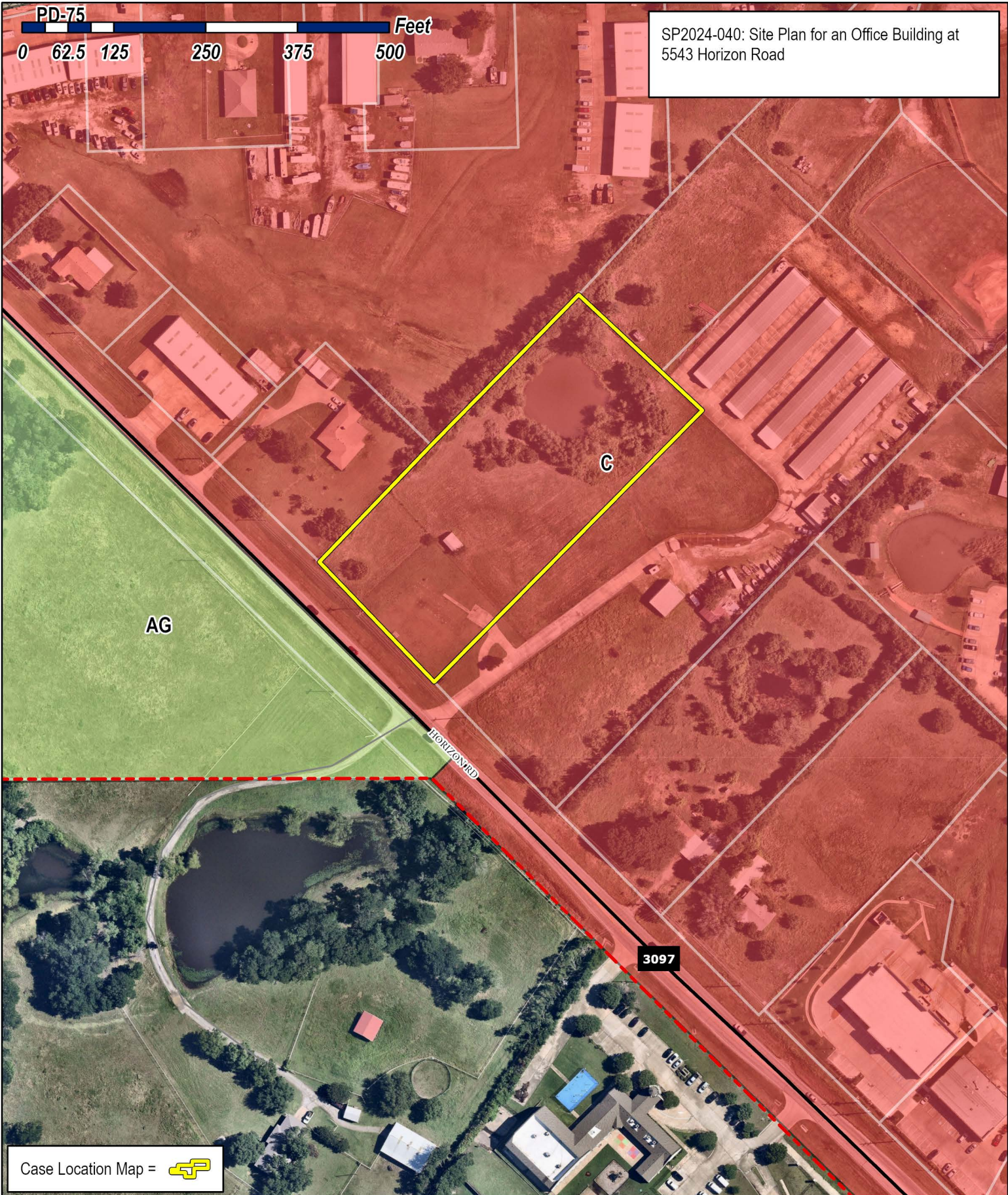
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF September, 20 24

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES October 27, 2027



SP2024-040: Site Plan for an Office Building at 5543 Horizon Road


PD-75
0 62.5 125 250 375 500 Feet

AG

C

HORIZON RD

3097

Case Location Map = 

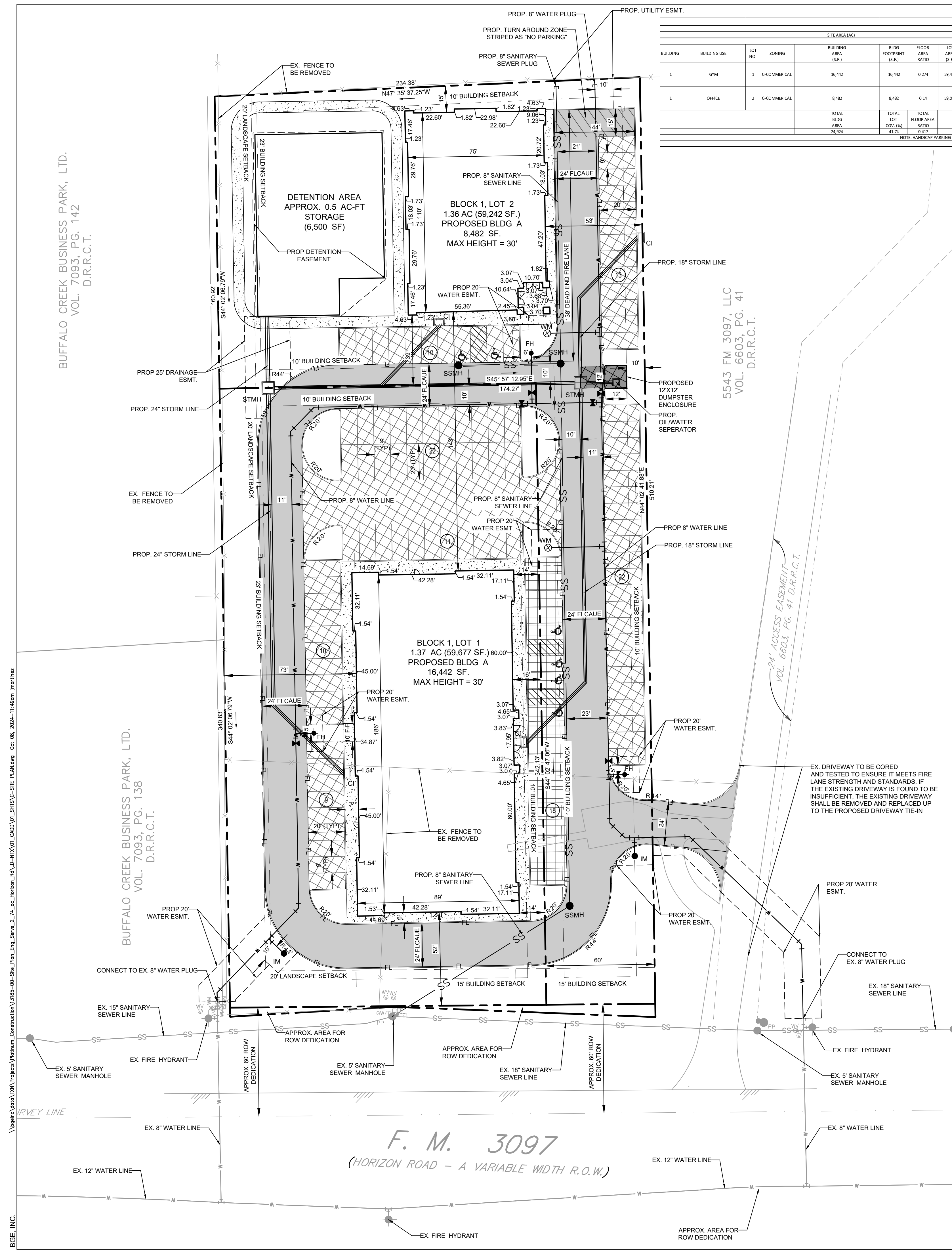


City of Rockwall

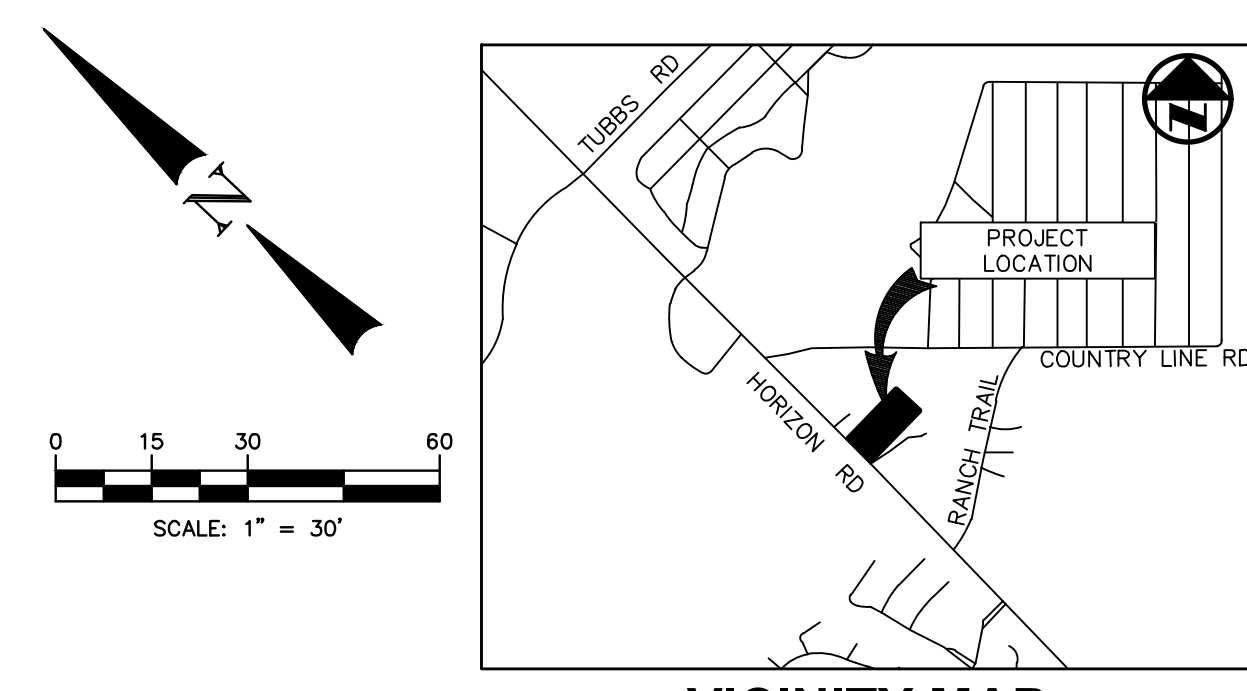
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



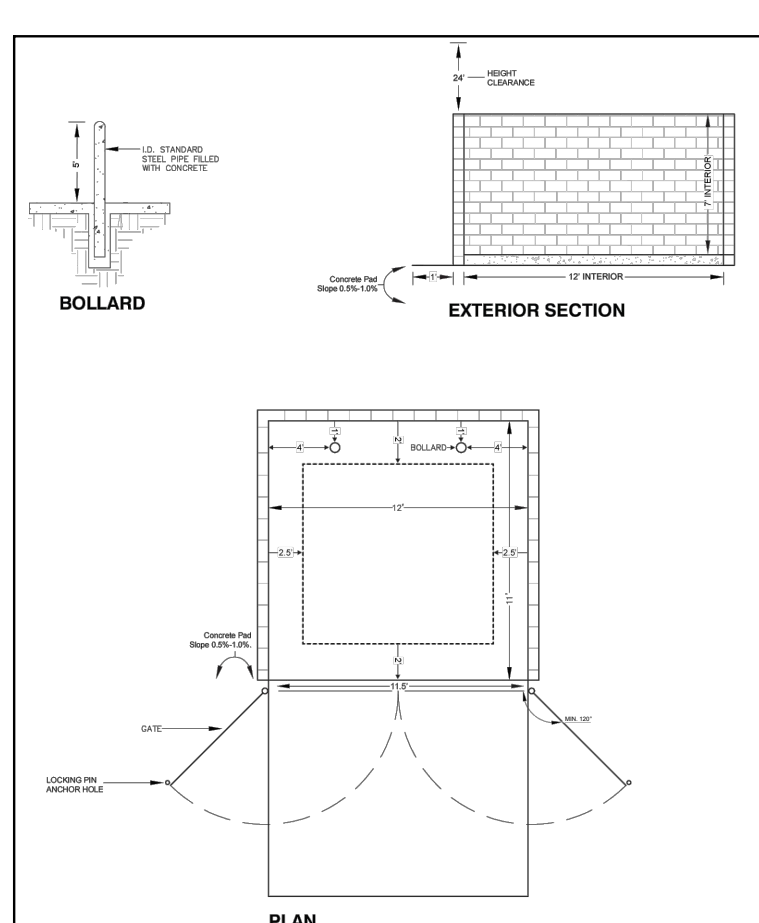


SITE INFORMATION											
SITE AREA (AC)		SITE DATA SUMMARY									
BUILDING	BUILDING USE	LOT NO.	ZONING	BUILDING AREA (S.F.)	FLOOR FOOTPRINT (S.F.)	FLOOR AREA RATIO	LOT AREA (S.F.)	LOT COV. (%)	IMPROVED LOT COVERAGE (S.F.)	PROPOSED LOT COVERAGE (S.F.)	PROPOSED LOT COVERAGE (%)
1	OFFICE	1	C-COMMERCIAL	16,442	16,442	0.274	59,497	27.37	46,430	47	1/300 (OFFICE)
1	OFFICE	2	C-COMMERCIAL	8,482	8,482	0.14	59,025	14.37	33,881	24	1/300 (OFFICE)
TOTAL				24,924	24,924	0.417	118,522	41.74	80,311	71	



- LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - PROP. CONCRETE SIDEWALK (TYP.)
 - PROP. FIRE LANE, ACCESS & UTILITY ESMT.
 - 5' LIGHT DUTY CONCRETE PAVEMENT
 - 6' MEDIUM DUTY CONCRETE PAVEMENT
 - 7' DUMPSTER CONCRETE PAVEMENT
 - EXISTING FENCE
 - EXISTING MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - PROPOSED STORM SEWER LINE
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER MANHOLE
 - PROPOSED IRRIGATION METER
 - PROPOSED DOMESTIC METER
 - PROPOSED GATE VALVE
 - FIRE DEPARTMENT CONNECTION
 - PROPOSED FIRE HYDRANT ASSEMBLY
 - PROPOSED WYE INLET
 - PROPOSED CURB INLET
- KEY**
- TYP TYPICAL
 - BFR BARRIER FREE RAMP
 - FH FIRE HYDRANT
 - SSMH SEWER MANHOLE
 - LP LIGHT POLE
 - CI CURB INLET
 - WM WATER METER
 - EB ELECTRICAL BOX
 - IM IRRIGATION METER
 - PP POWER POLE
 - ESMT EASEMENT
 - (#) NUMBER OF PARKING SPACES
 - STMH STORM MANHOLE
 - WYE WYE INLET
 - FDC FIRE DEPARTMENT CONNECTION
 - WV WATER VALVE
 - GW GUY WIRE
 - FLCAUE FIRE LANE, CROSS ACCESS & UTILITY ESMT.

- NOTES:**
- CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH CITY AND COUNTY REGULATIONS AS WELL AS O.S.H.A STANDARDS.
 - ALL DIMENSIONS ARE TO THE FACE OR CURB UNLESS OTHERWISE NOTED.
 - ALL FIRE LANE RADI ARE 20-FOOT MINIMUM.
 - ALL FIRE LANES ARE 24-FOOT WIDE MINIMUM.
 - HANDICAP PARKING AND MARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
 - REFER TO CITY OF ROCKWALL CONSTRUCTION DETAILS AND SPECIFICATIONS.
 - ALL SCREENING SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS.
 - CONTRACTOR TO COORDINATE WITH CITY TRAFFIC ENGINEER PRIOR TO INSTALLING ROAD SIGNS OR PAVEMENT MARKINGS.
 - RETAINING WALLS 3' OR OVER WILL REQUIRE TO BE ENGINEERED.
 - ALL RETAINING WALLS (18' OR TALLER) MUST BE ROCK OR STONE FACE. NO SMOOTH CONCRETE WALLS.
 - SHARED PARKING BETWEEN LOTS WILL BE DONE THROUGH A SHARED PARKING AGREEMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - NO OUTSIDE STORAGE OR ABOVE GROUND STORAGE TANKS SHALL BE PRESENT ON SITE.



APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024
RESUBMITTED: OCTOBER 1, 2024

BGE, Inc.
 2595 Dallas Parkway, Suite 101
 Frisco, TX 75034
 Tel: 972-464-4800 • www.bgeinc.com
 TBPE Registration No. F-1046
 Copyright 2020

DEVELOPER
PLATINUM CONSTRUCTION
 1450 TL TOWNSEND DR. STE 100
 ROCKWALL, TX 75032
 TEL: (469) 222-1597
 CONTACT: SHAWN WALK

OWNER
SARO PARTNERS LLC
 1450 S. T L TOWNSEND
 ROCKWALL, TX 75032
 TEL: (469) 222-1597
 CONTACT: SHAWN WALK

PLATINUM CONSTRUCTION
SITE PLAN
HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT
26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
 BGE INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 MCKENZIE L. JOSECK P.E.
 TEXAS REGISTRATION NO. 149338
 OCTOBER 08, 2024

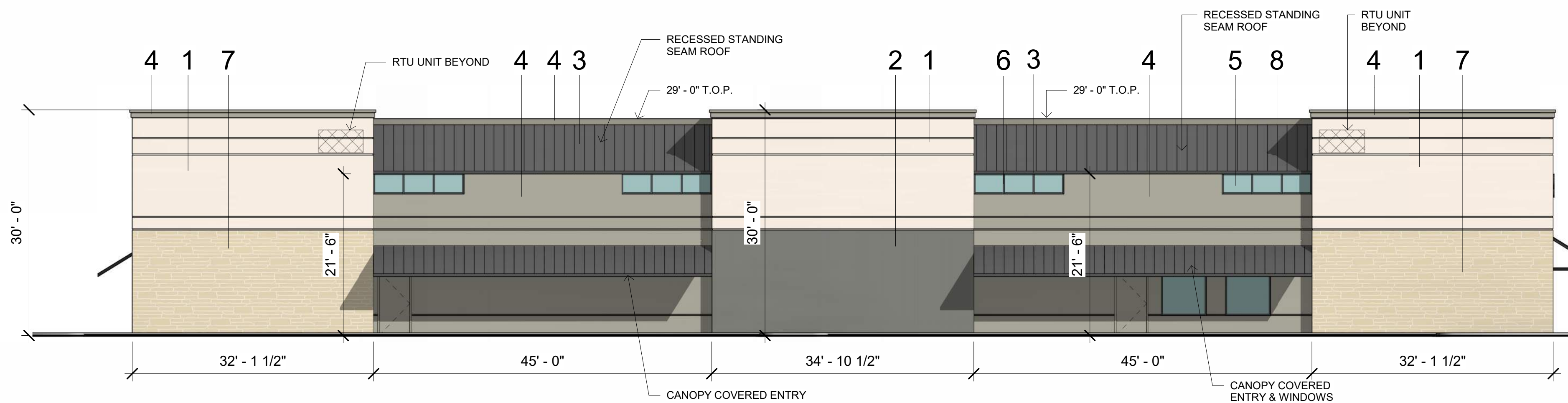
!CAUTION!
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REV. NO.	DATE	DESCRIPTION

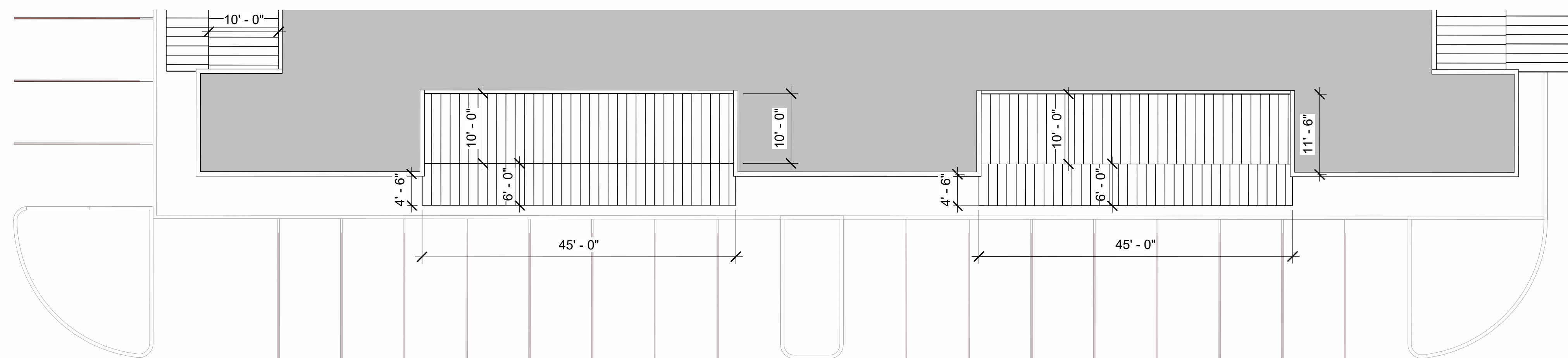
CHECKED BY: MLJ
 DESIGNED BY: JM
 DATE: OCTOBER 2024
 PROJECT NUMBER: SP2024-040

SHEET NO
SP-1



NORTH ELEVATION

3/32" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

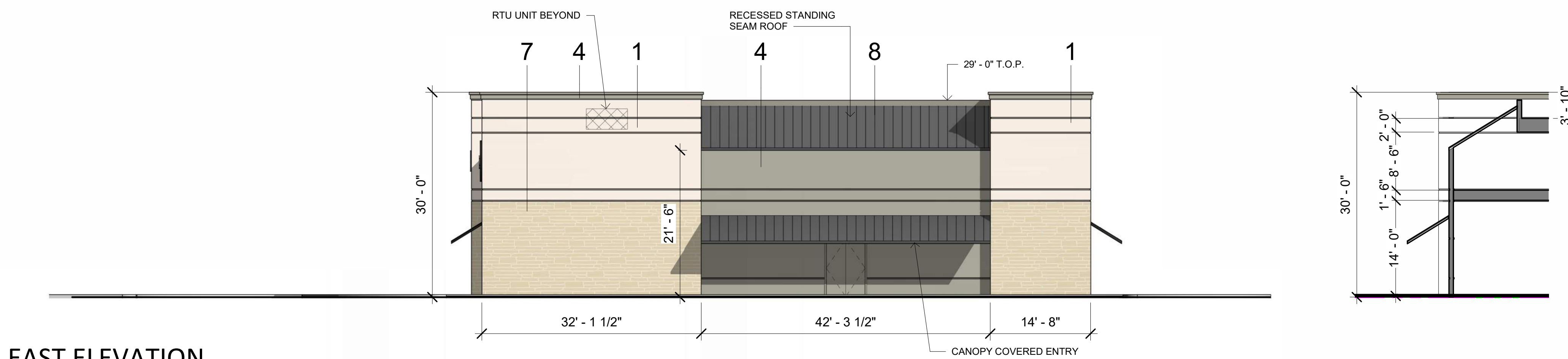
1 - FRENCH WHITE - 30.75 %
2 - STONE MASON - 9.80%
4 - WHALE WATCHING - 41.38%
7 - STONE VENEER - 18%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

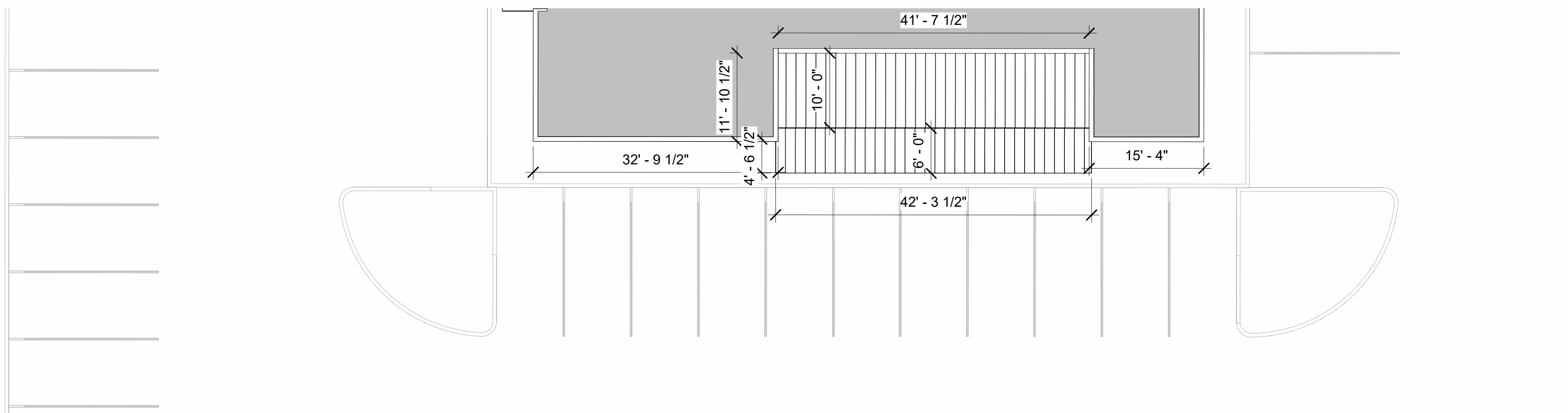
ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET
(H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21.6-FEET
(H)15% = 3.2-FEET



EAST ELEVATION

3/32" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 32.62%
4 - WHALE WATCHING - 37.80%
7 - STONE VENEER - 29.56%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET
(H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21.6-FEET
(H)15% = 3.2-FEET



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2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900
RKAA.com

DATE: 10-01-2024

GYM - ELEVATIONS

NOTICE OF ADEQUATE BILLING OR PAYMENT CYCLE: THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR PAYMENTS IN BILLING CYCLES OTHER THAN THIRTY DAYS. THE CONTRACTOR SHALL ALLOW OWNER TO MAKE PAYMENT ON SOME ALTERNATE SCHEDULE AFTER CONSULTATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

NAME: ADDRESS: CONTACT: PHONE:

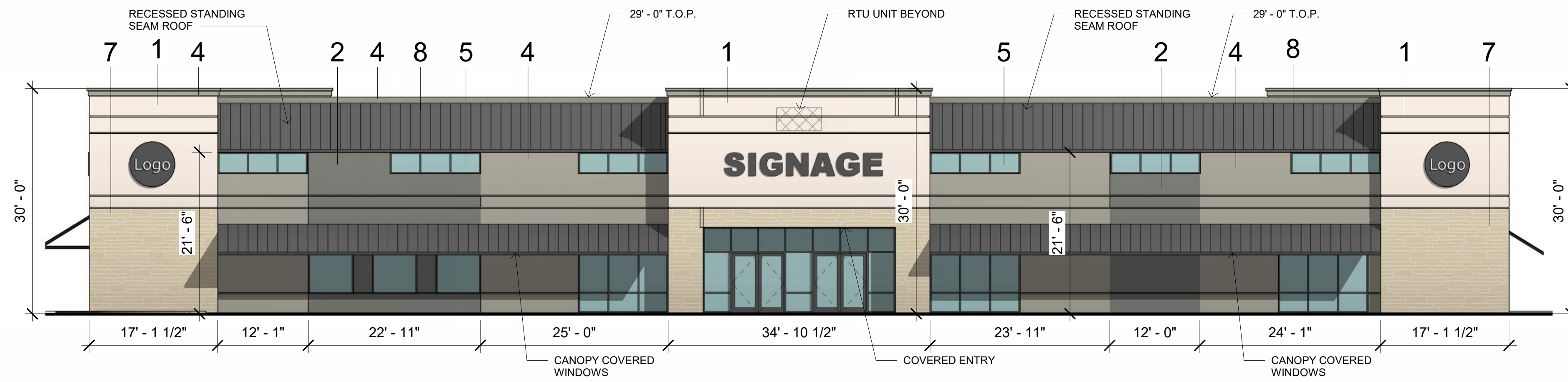
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(SCHEMATIC DESIGN)

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DRAWN BY: KR
CHECKED BY: NF

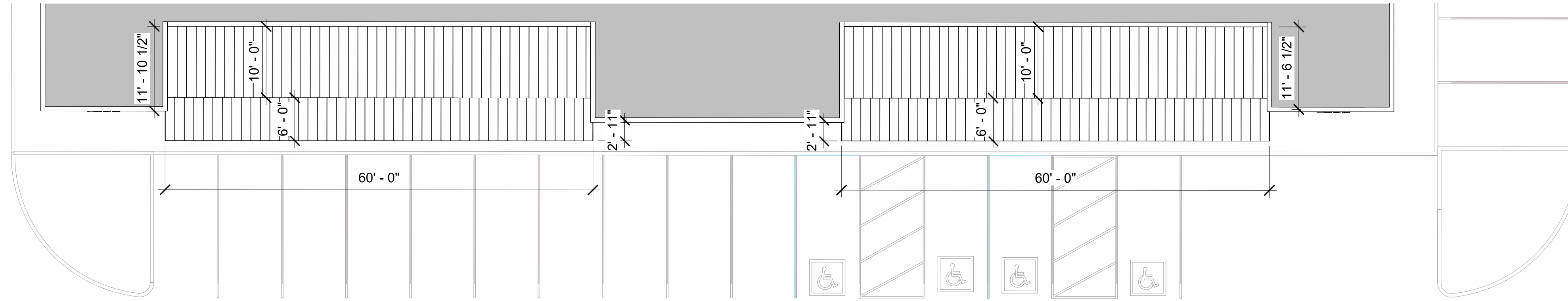
A1.1
PROJECT #: 24216.50





SOUTH ELEVATION

3/32" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

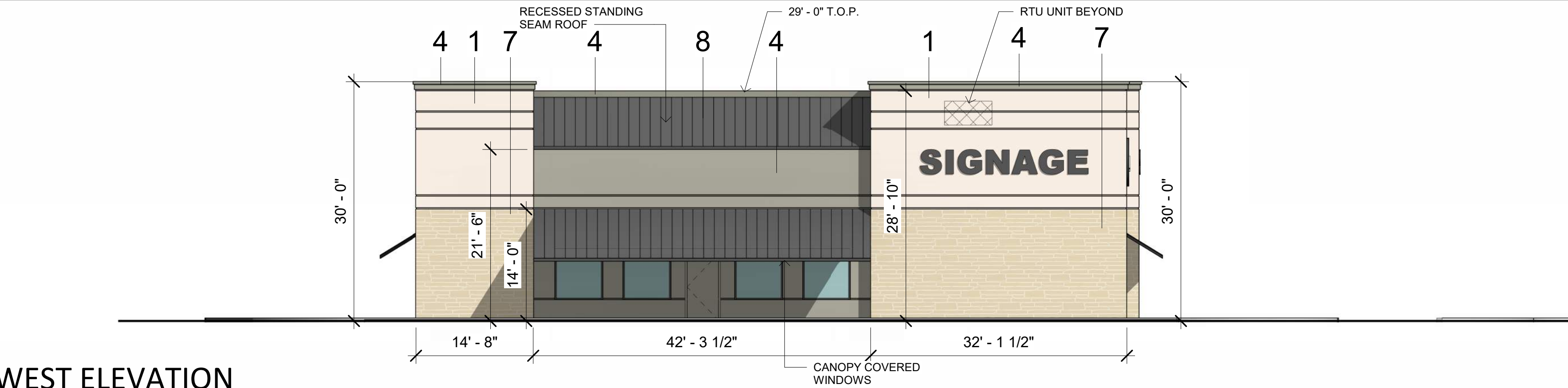
1 - FRENCH WHITE - 28.85 %
2 - STONE MASON - 16.15%
4 - WHALE WATCHING - 36.20%
7 - STONE VENEER - 18.80%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

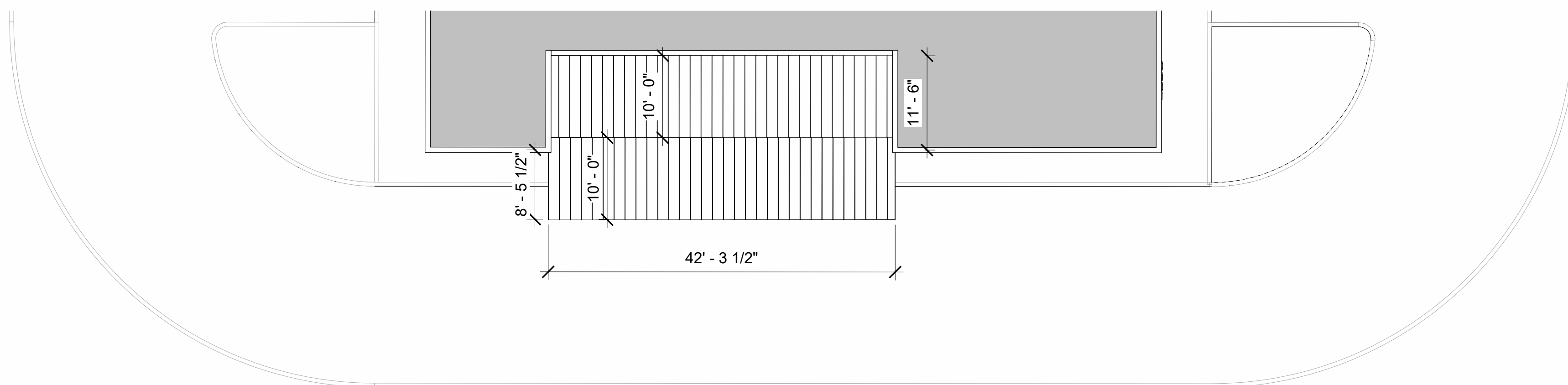
ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET
(H)15% = 4.6- FEET

PROJECTIONS HEIGHT (H) = 21.6- FEET
(H)15% = 3.2- FEET



WEST ELEVATION

3/32" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 35.50%
4 - WHALE WATCHING - 32.32%
7 - STONE VENEER - 32.17%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

PRIMARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30- FEET
(H)25% = 7.6- FEET

LENGHT (L) = 42.375- FEET
(L)25% = 10.6- FEET



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DATE: 10-01-2024

GYM - ELEVATIONS

NOTICE OF ACCURATE BILLING OR PAYMENT CYCLE:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
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CONTRACTOR SHALL ALLOW OWNER TO MAKE PAYMENT
ON SOME ALTERNATE SCHEDULES AFTER
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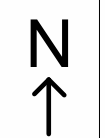
NAME:
ADDRESS:
CONTACT:
PHONE:

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(SCHEMATIC DESIGN)

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DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A1.2
PROJECT #: 24216.50





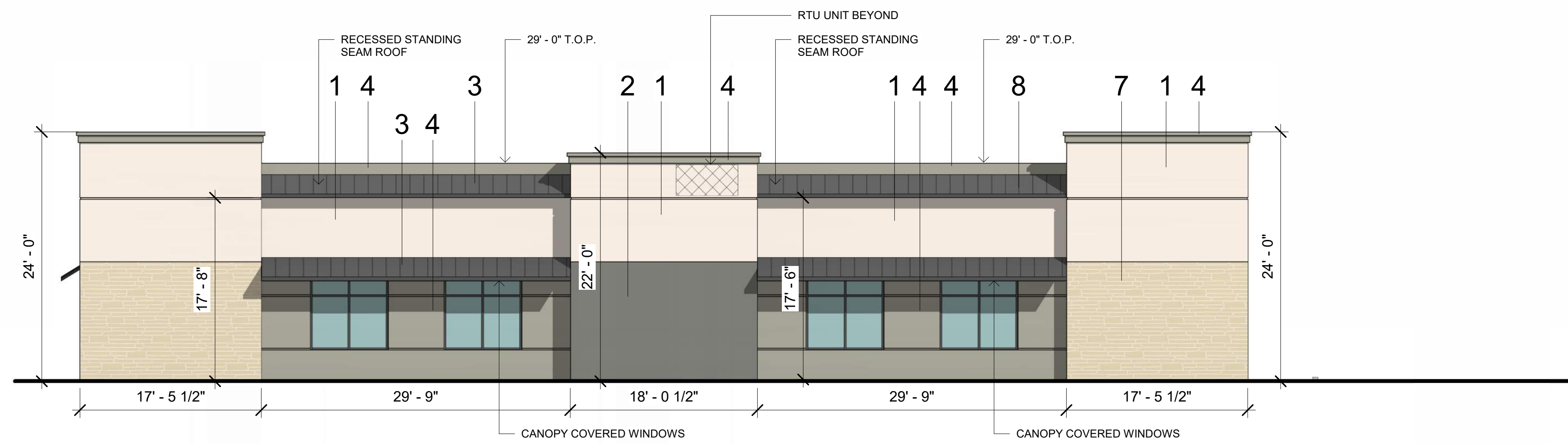
NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
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 NAME:
 ADDRESS:
 CONTACT:
 PHONE:

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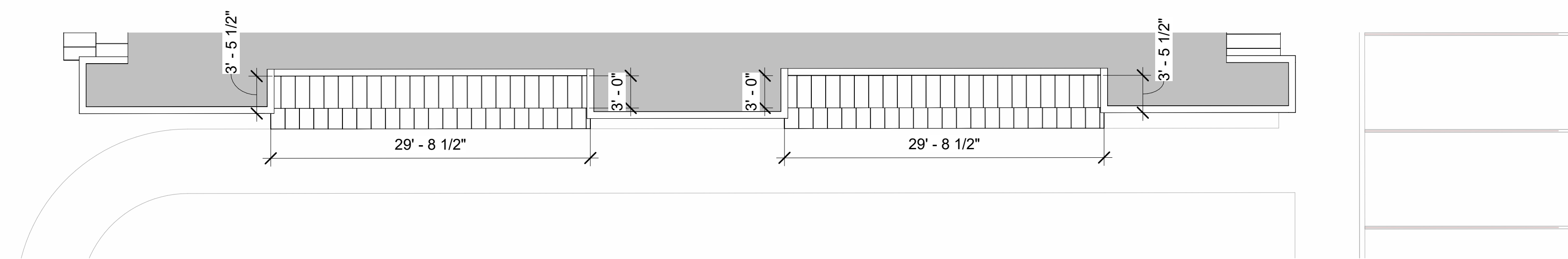
DESIGN BY: KR
 DRAWN BY: KR
 CHECKED BY: NF

A1.3
 PROJECT #:24216.50



NORTH OFFICE BUILDING ELEVATION

1/8" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET815
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

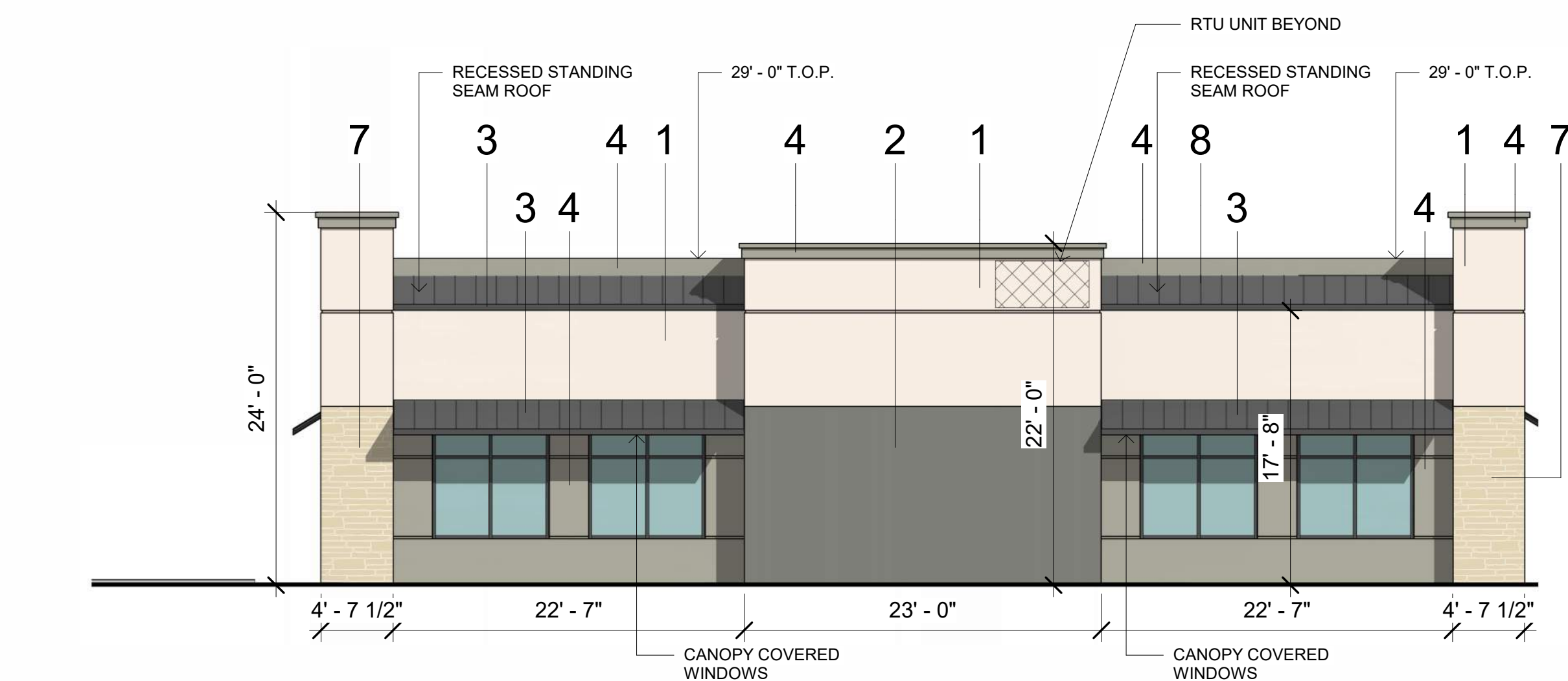
1 - FRENCH WHITE	- 40.30 %
2 - STONE MASON	- 8.75%
4 - WHALE WATCHING	- 34%
7 - STONE VENEER	- 16.90%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

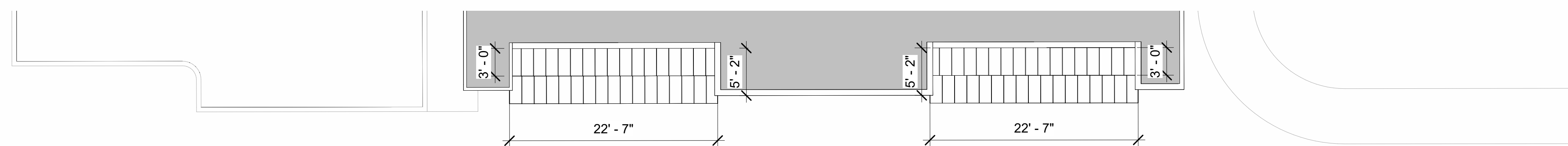
ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET
(H)15% = 3.6- FEET

PROJECTIONS HEIGHT (H) = 17.8- FEET
(H)15% = 2.6- FEET



EAST OFFICE BUILDING ELEVATION

1/8" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET815
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

1 - FRENCH WHITE	- 38.23%
2 - STONE MASON	- 16.75%
4 - WHALE WATCHING	- 38.5%
7 - STONE VENEER	- 6.75%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET
(H)15% = 3.6- FEET

PROJECTIONS HEIGHT (H) = 17.8- FEET
(H)15% = 2.6- FEET



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602-955-3900
RKAA.com

DATE: 10-01-2024

OFFICE - ELEVATIONS

NOTICE OF ACCURATE BILLING OR NUMBER COUNT:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
THE SUBMITTAL OF BILLING OR ESTIMATES IN
BILLING CYCLES OTHER THAN THIRTY DAYS. THIS
CONTRACTOR MAY ALLOW OWNER TO MAKE PAYMENT
ON SOME ALTERNATE SCHEDULE AFTER
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AVAILABLE FROM OWNER OR DESIGNATED AGENT.

NAME:
ADDRESS:
CONTACT:
PHONE:

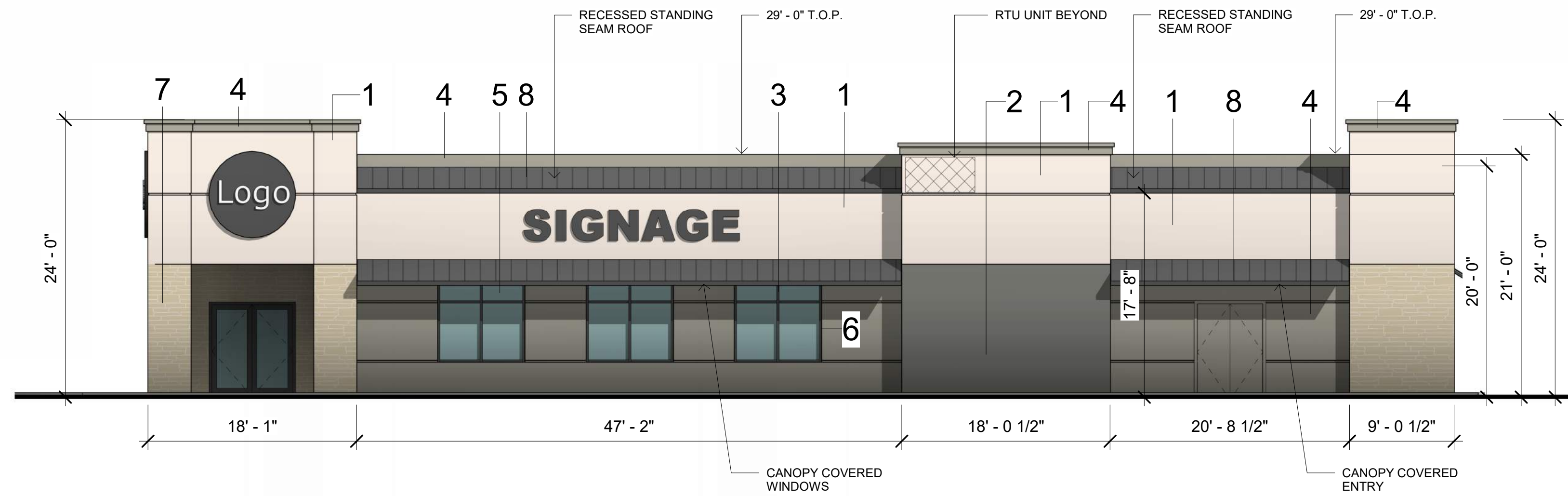
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(SCHEMATIC DESIGN)

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DRAWN BY: KR
CHECKED BY: NF

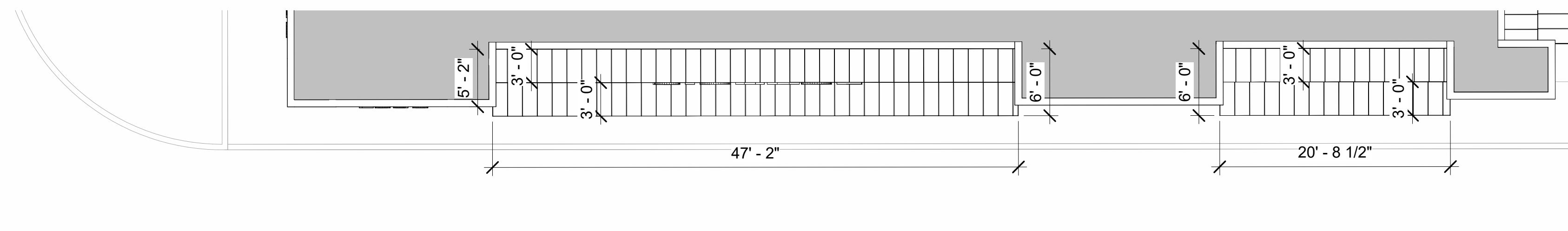
A2.1
PROJECT #: 24216.50





SOUTH OFFICE BUILDING ELEVATION

1/8" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

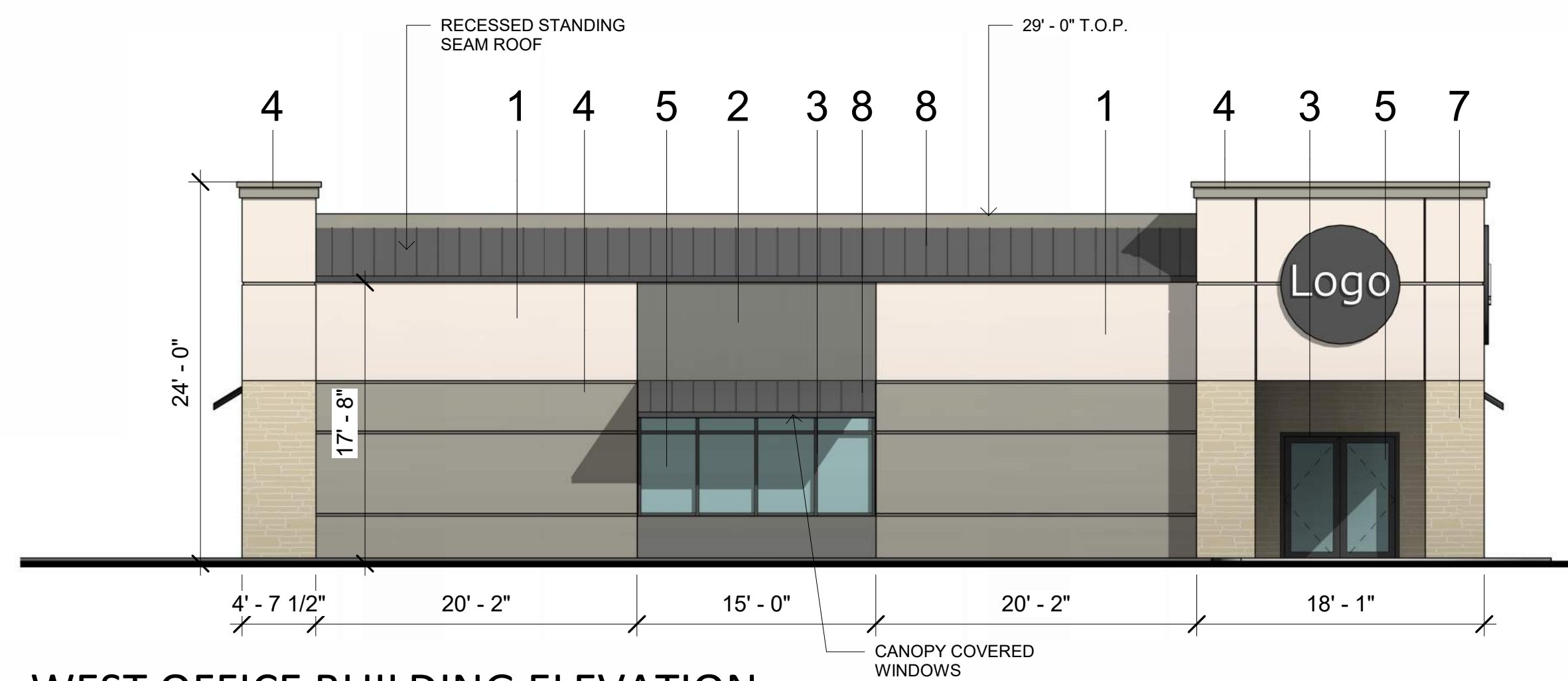
1 - FRENCH WHITE - 61.50 %
2 - STONE MASON - 11.82%
4 - WHALE WATCHING - 18.92%
7 - STONE VENEER - 17.74%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

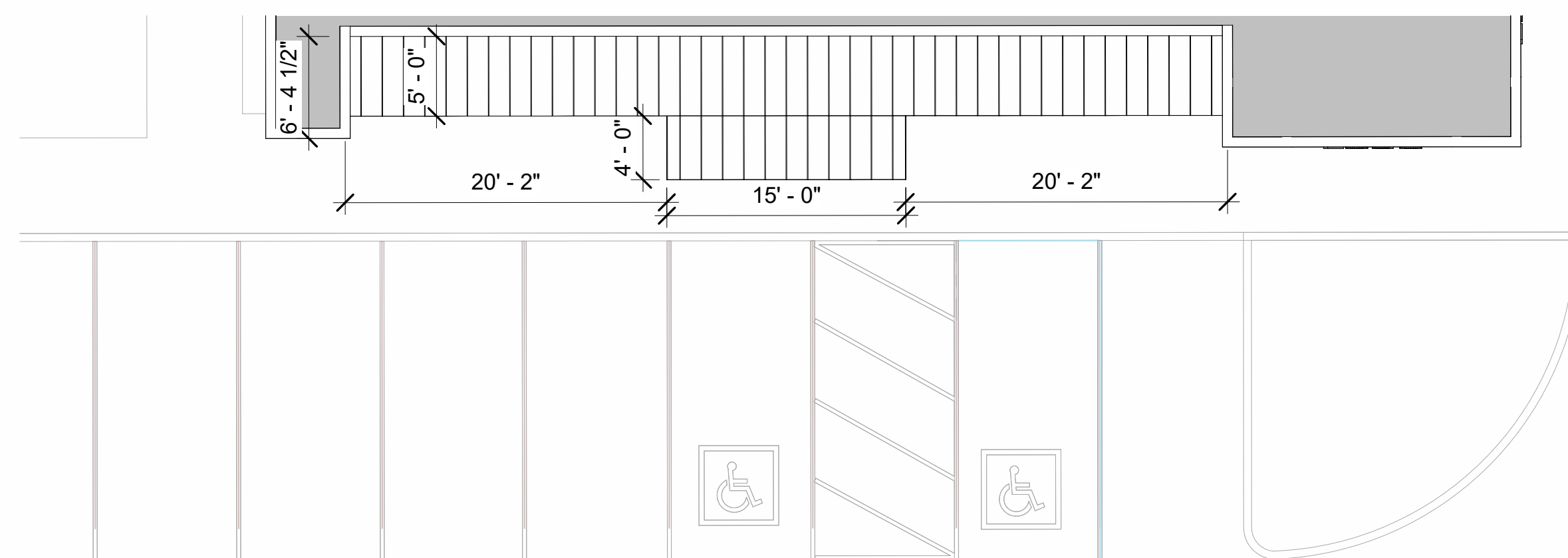
ENTRY ELEMENT PROJECTION HEIGHT (H) = 24- FEET
(H)15% = 3.6- FEET

PROJECTIONS HEIGHT (H) = 17.8- FEET
(H)15% = 2.6- FEET



WEST OFFICE BUILDING ELEVATION

1/8" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 35.83%
2 - STONE MASON - 9.19%
4 - WHALE WATCHING - 37%
7 - STONE VENEER - 17.9%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

PRIMARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24- FEET
(H)25% = 6- FEET

PROJECTIONS HEIGHT (H) = 17.8- FEET
(H)25% = 4.4- FEET



RKAA
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602-955-3900
RKAA.com

DATE: 10-01-2024

OFFICE - ELEVATIONS

NOTICE OF ADEQUATE BILLING OR PAYMENT CYCLE:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
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AVAILABLE FROM OWNER OR DESIGNATED AGENT.

NAME:
ADDRESS:
CONTACT:
PHONE:

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DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A2.2
PROJECT #: 24216.50



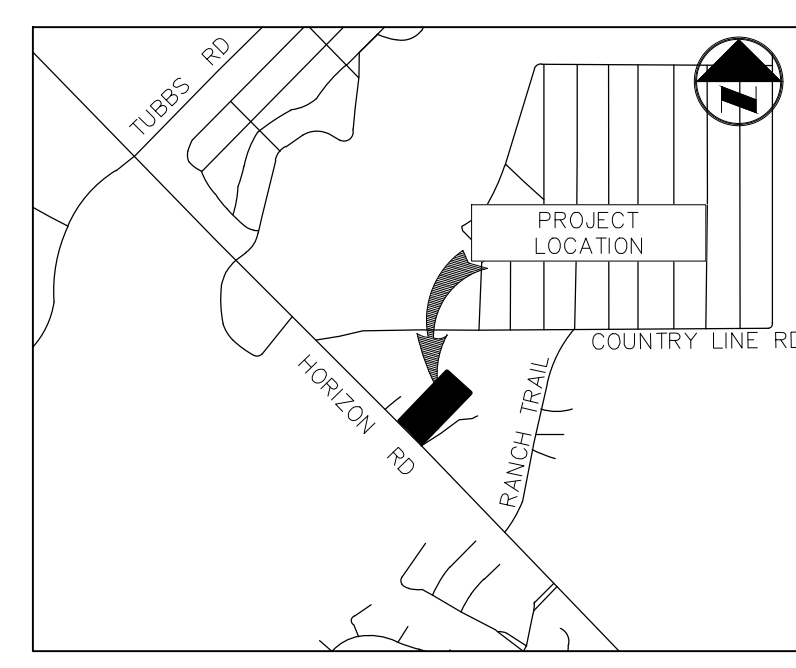
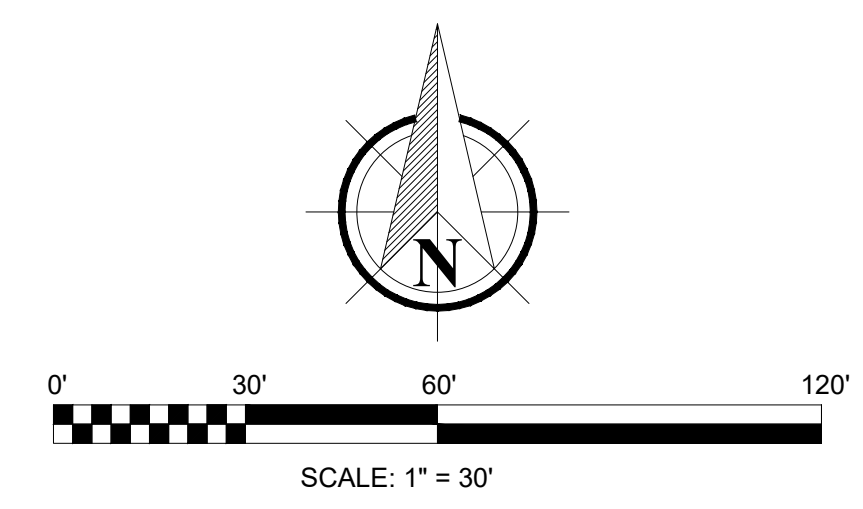
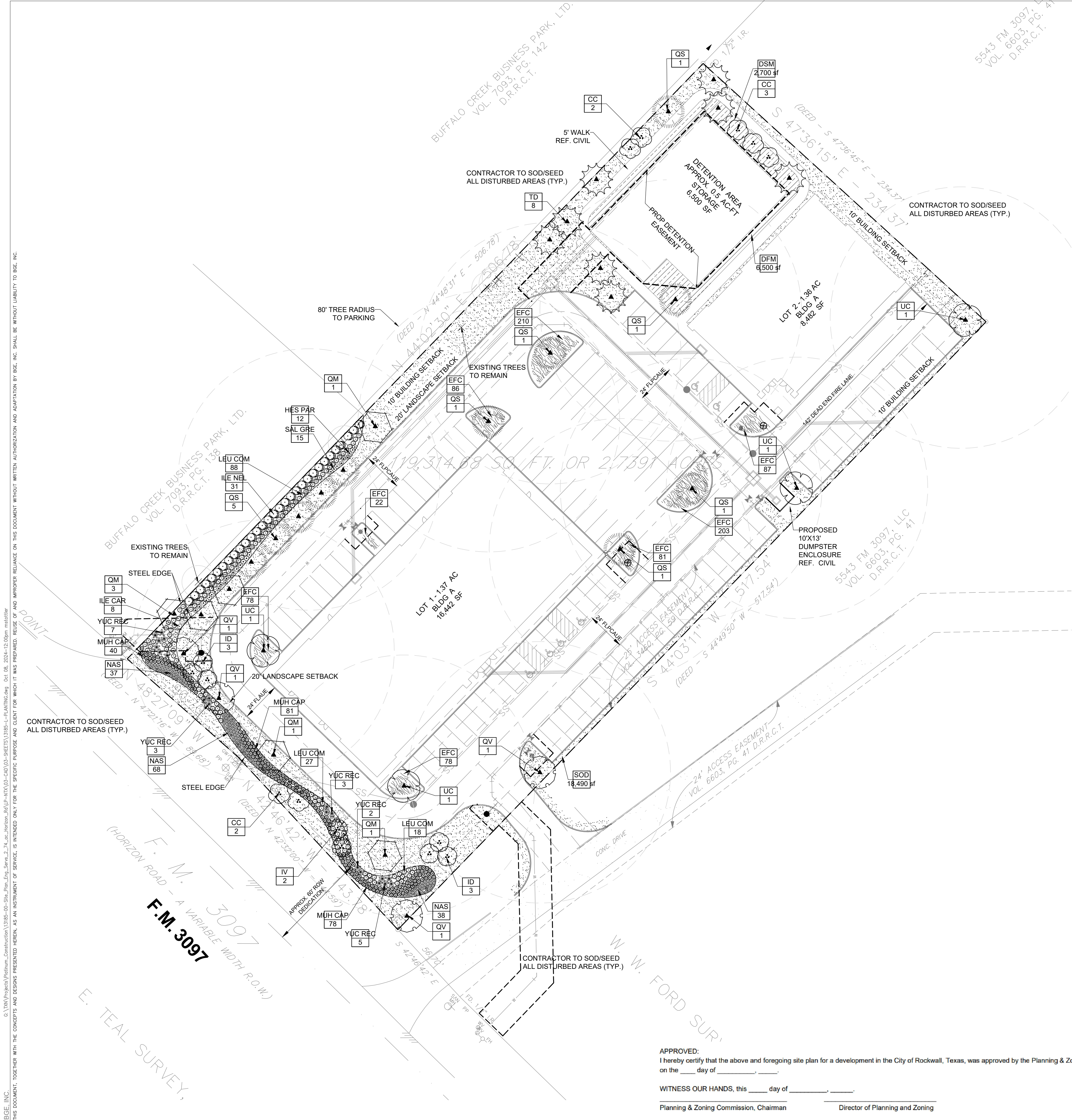
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DESIGN BY: KR
 DRAWN BY: KR
 CHECKED BY: NF

A2.3
 PROJECT #: 24216.50



VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
CANOPY TREES			
	QM	Quercus macrocarpa	Burr Oak
	QS	Quercus shumardii	Shumard Red Oak
	QV	Quercus virginiana	Southern Live Oak
	TD	Taxodium distichum	Bald Cypress
	UC	Ulmus crassifolia	Cedar Elm
ORNAMENTAL TREES			
	CC	Cercis canadensis	Eastern Redbud
	ID	Ilex decidua	Possumhaw Holly
	IV	Ilex vomitoria	Yaupon Holly
SHRUBS			
	HES PAR	Hesperaloe parviflora	Red Yucca
	ILE CAR	Ilex cornuta 'Carissa'	Carissa Holly
	ILE NEL	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly
	LEU COM	Leucophyllum frutescens 'Compacta'	Compact Texas Sage
	SAL GRE	Salvia greggii	Autumn Sage
	YUC REC	Yucca recurvifolia	Soft Leaf Yucca
GRASSES			
	MUH CAP	Muhlenbergia capillaris	Pink Muhly
	NAS	Nassella tenuissima	Mexican Feather Grass
GROUND COVER			
	EFC	Euonymus fortunei 'Coloratus'	Purple-leaf Winter Creeper
SEED			
	DSM		Dam Slope Mix
	DFM		Drainfield Mix
SOD			
	SOD	Cynodon dactylon	Tif Tuf Bermuda Grass
MISC			
	STEEL EDGE	TBD	Steel Edging
	MULCH	TBD	Shredded Hardwood Mulch

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
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DEVELOPER
PLATINUM CONSTRUCTION
1450 TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
1450 S. T L TOWNSEND
ROCKWALL, TX 75302
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET
PLANTING PLAN
 HORIZON RD. COMMERCIAL OFFICES
 W.W FORD SURVEY, ABSTRACT NO. 80, TRACT
 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLER, PLA
TEXAS REGISTRATION NO. 3743
BGE, INC.
REGISTERED ENGINEERING FIRM F-1046
10/8/2024

CAUTION!!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION!!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 10/8/2024
PROJECT NUMBER: 13185-00

SHEET NO
L2.02
PLANTING PLAN

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024
RESUBMITTED: OCTOBER 1, 2024

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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 Frisco, TX 75034
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 TBPE Registration No. F-1046
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DEVELOPER
PLATINUM CONSTRUCTION
 1450 TOWNSEND DR. STE 100
 ROCKWALL, TX 75032
 TEL: (469) 222-1597
 CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
 1450 S. T. L. TOWNSEND
 ROCKWALL, TX 75302
 TEL: (000) 000-0000
 CONTACT: JAY KANTER

CITY SUBMITTAL SET
PLANTING DETAILS
HORIZON RD. COMMERCIAL OFFICES
 W.W FORD SURVEY, ABSTRACT NO. 80, TRACT
 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
 MICHAEL STOTTLER, P.A.
 TEXAS REGISTRATION NO. 3743
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 10/8/2024

CAUTION !!
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

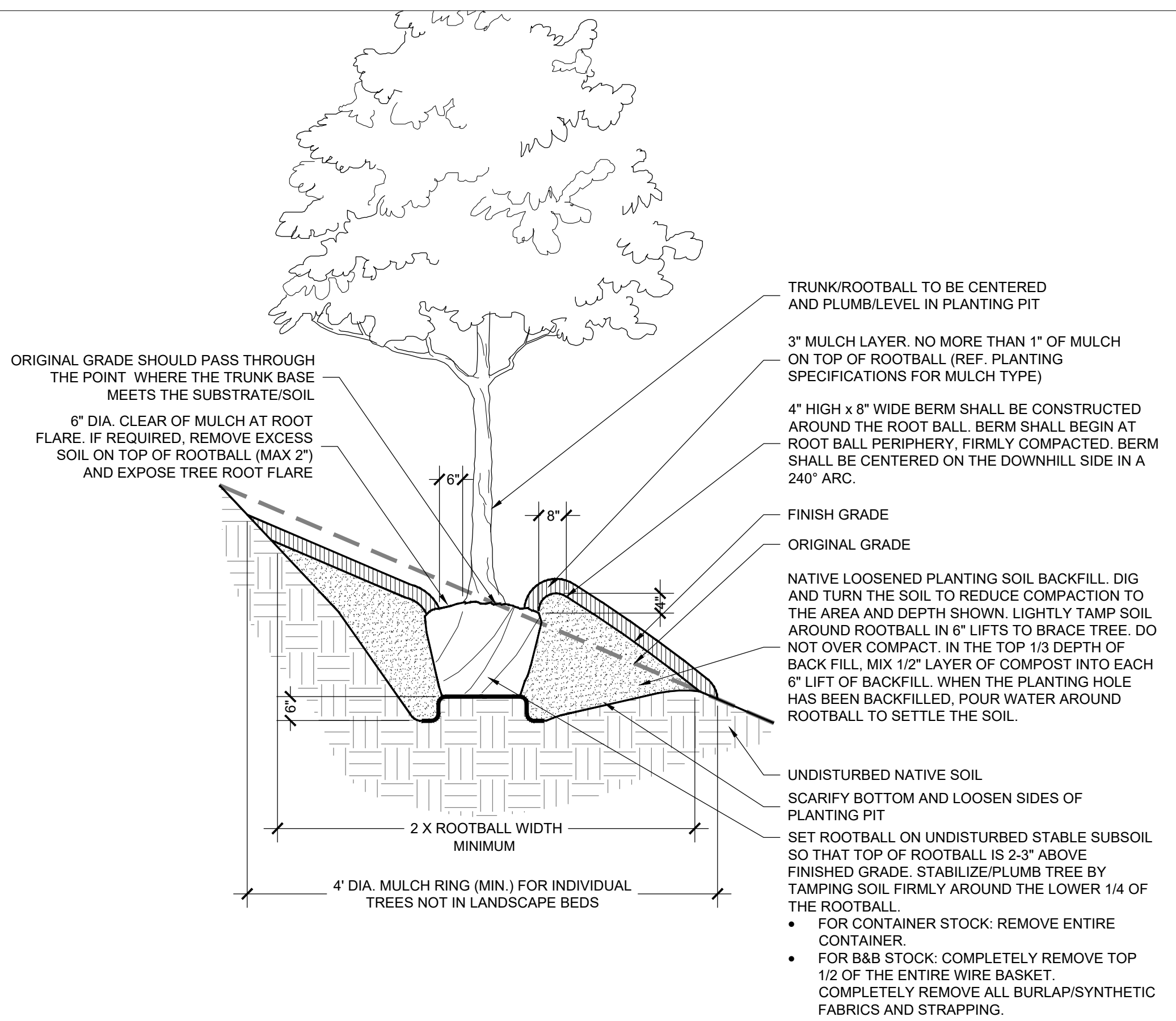
CAUTION !!!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

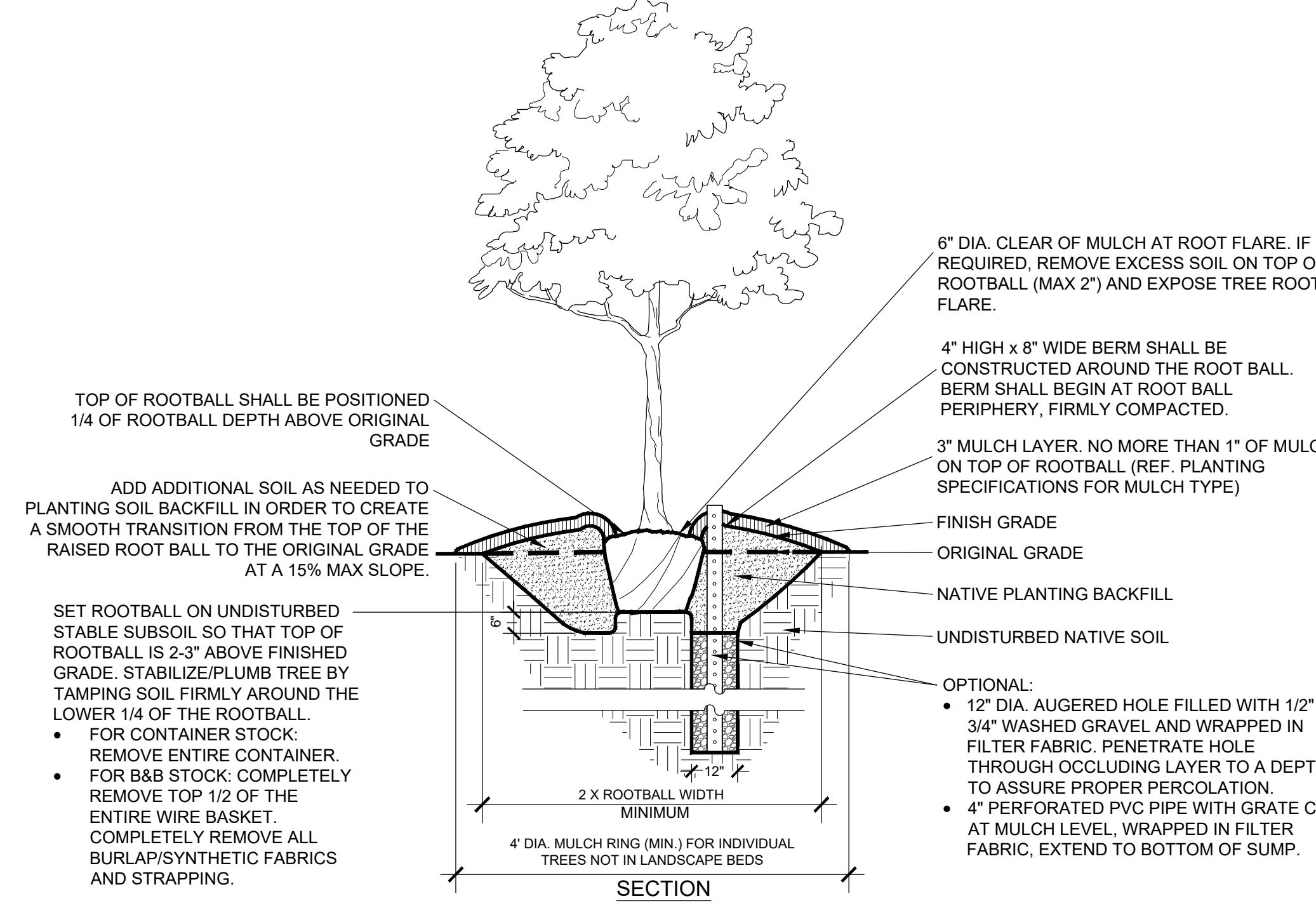
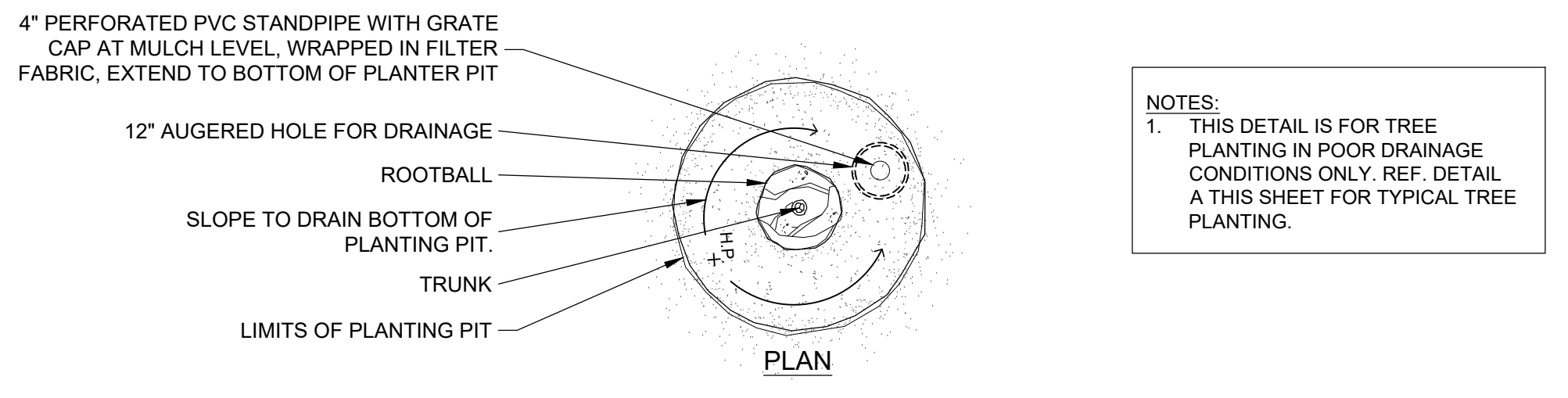
CHECKED BY: MLS
 DESIGNED BY: NPS
 DATE: 10/8/2024
 PROJECT NUMBER: 13185-00

SHEET NO
L2.03
 PLANTING DETAILS

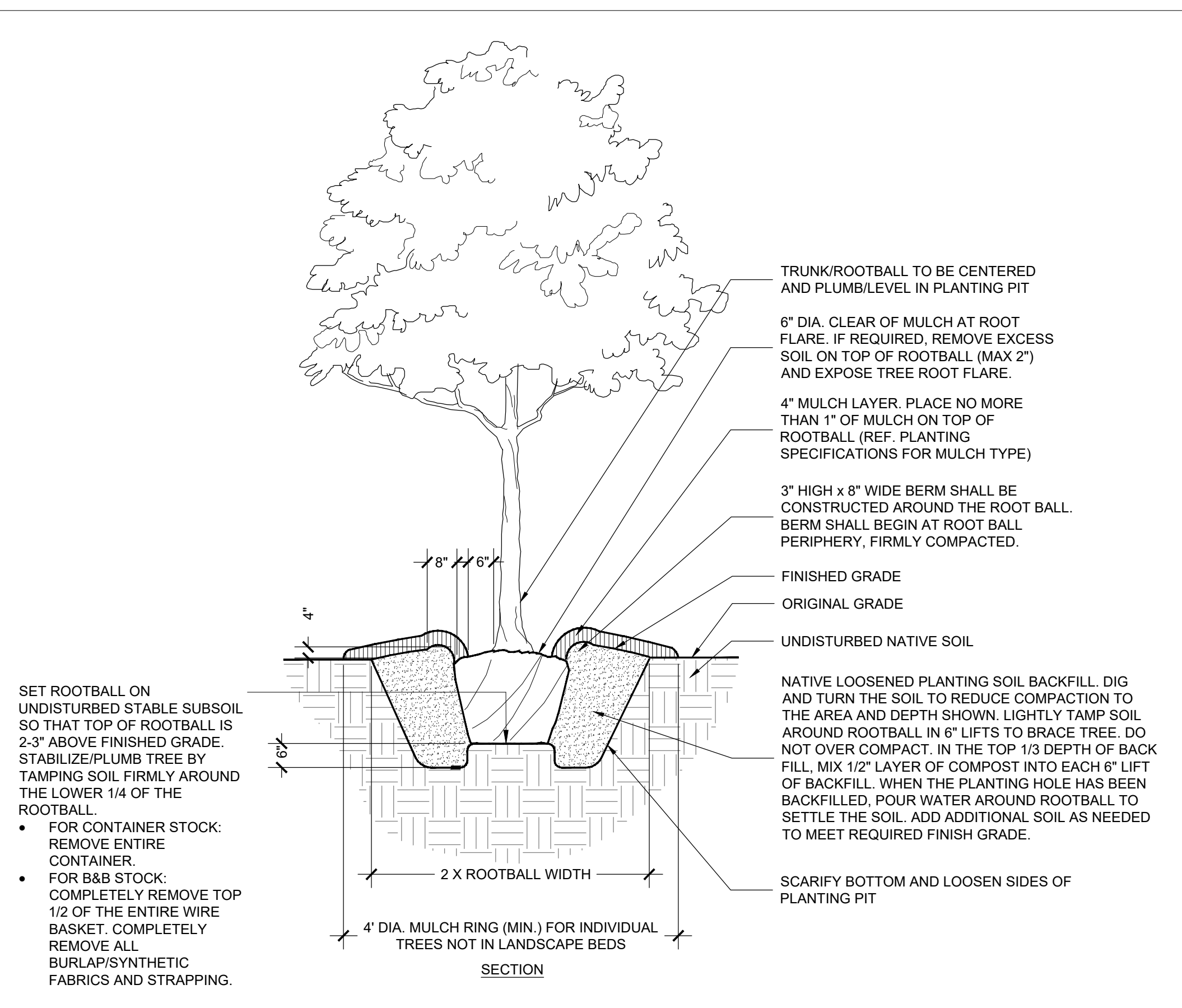
SITE PLAN
CASE NUMBER: SP2024-040
 HORIZON ROAD COMMERCIAL OFFICES
 2.7391 ACRES (119316 SF.) BEING SITUATED IN
 THE W.W FORD SURVEY, ABSTRACT NO. 80
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SUBMITTED: SEPTEMBER 13, 2024
 RESUBMITTED: OCTOBER 1, 2024



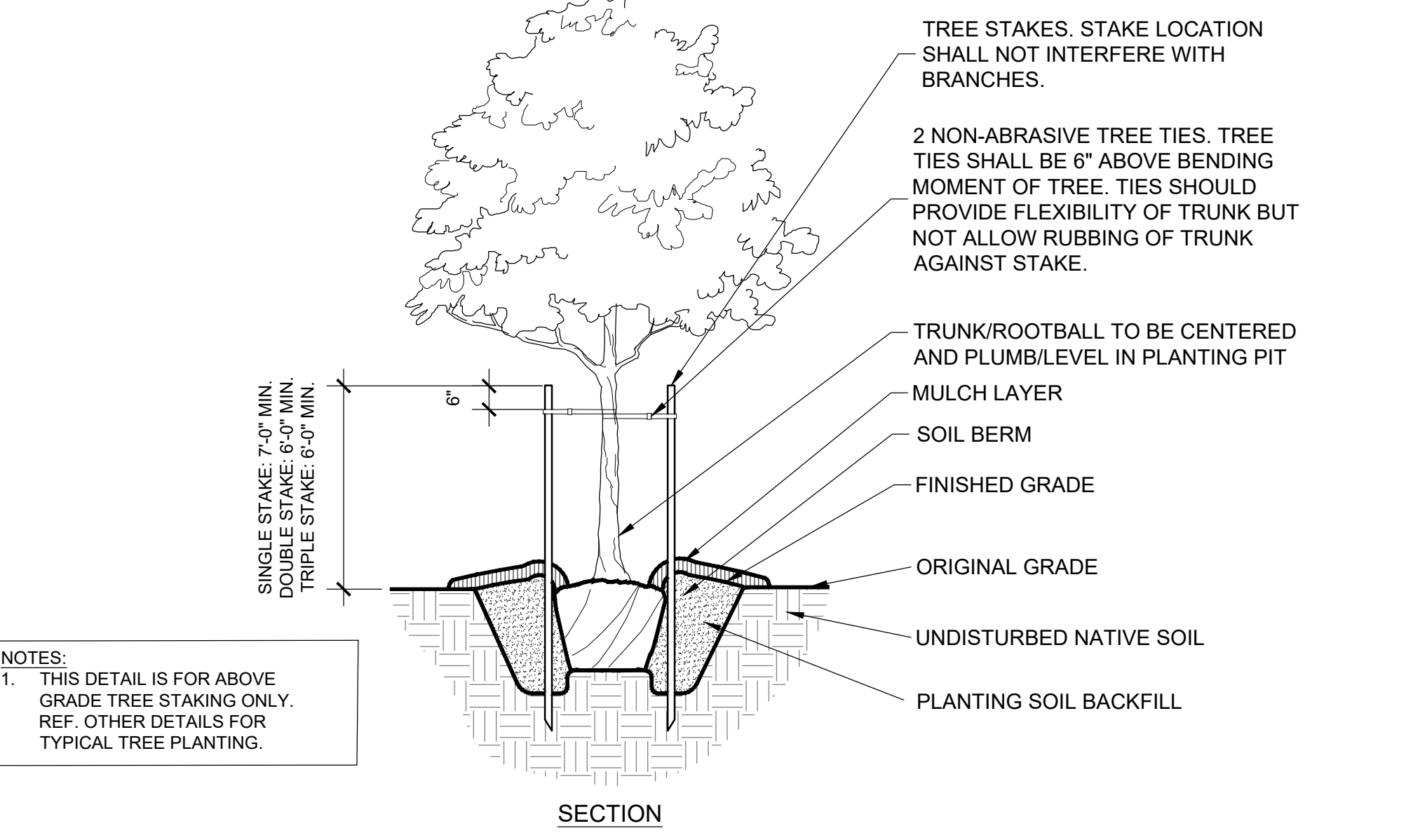
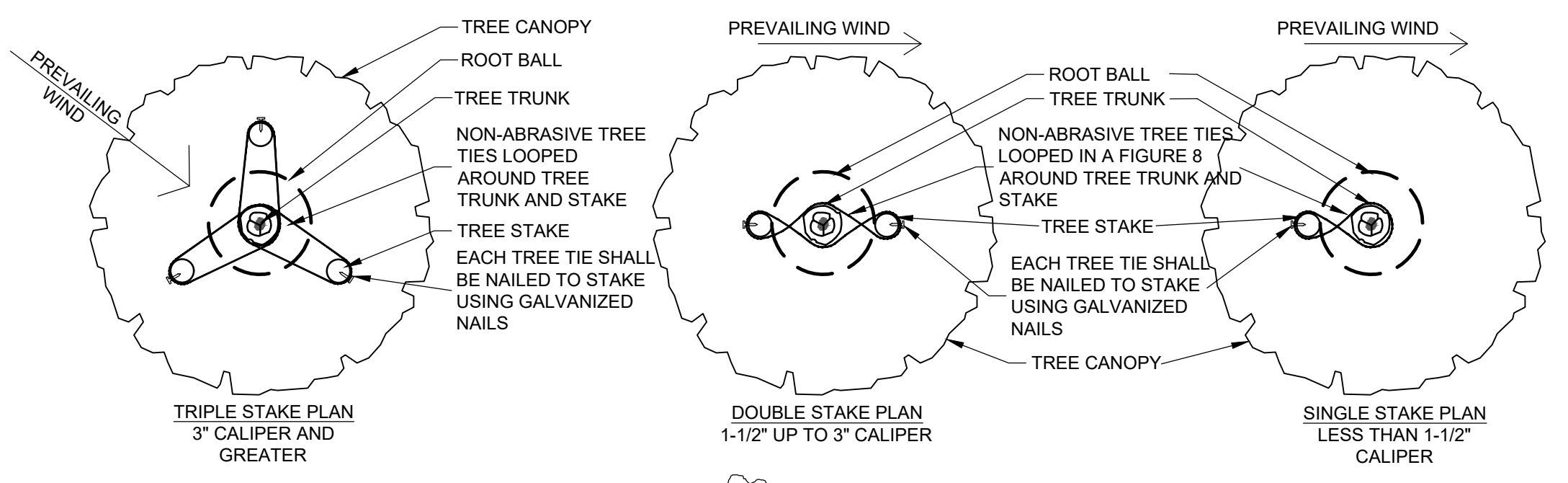
C TREE PLANTING ON 5-25% SLOPES (20:1 TO 4:1 SLOPES)
 SECTION NOT TO SCALE



D PLANTING IN WET CONDITIONS
 SECTION/PLAN NOT TO SCALE



A TYPICAL TREE PLANTING (UP TO 3\"/>
 SECTION NOT TO SCALE



B TYPICAL TREE STAKING
 SECTION/PLAN NOT TO SCALE

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

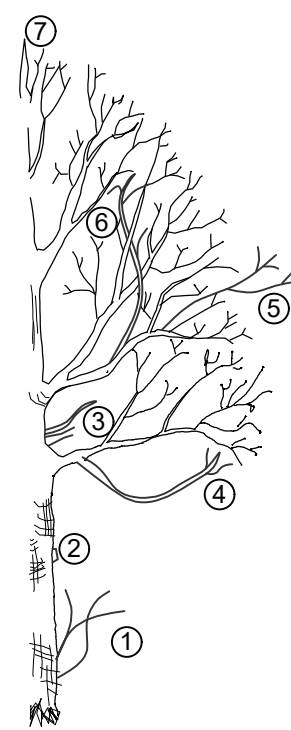
WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

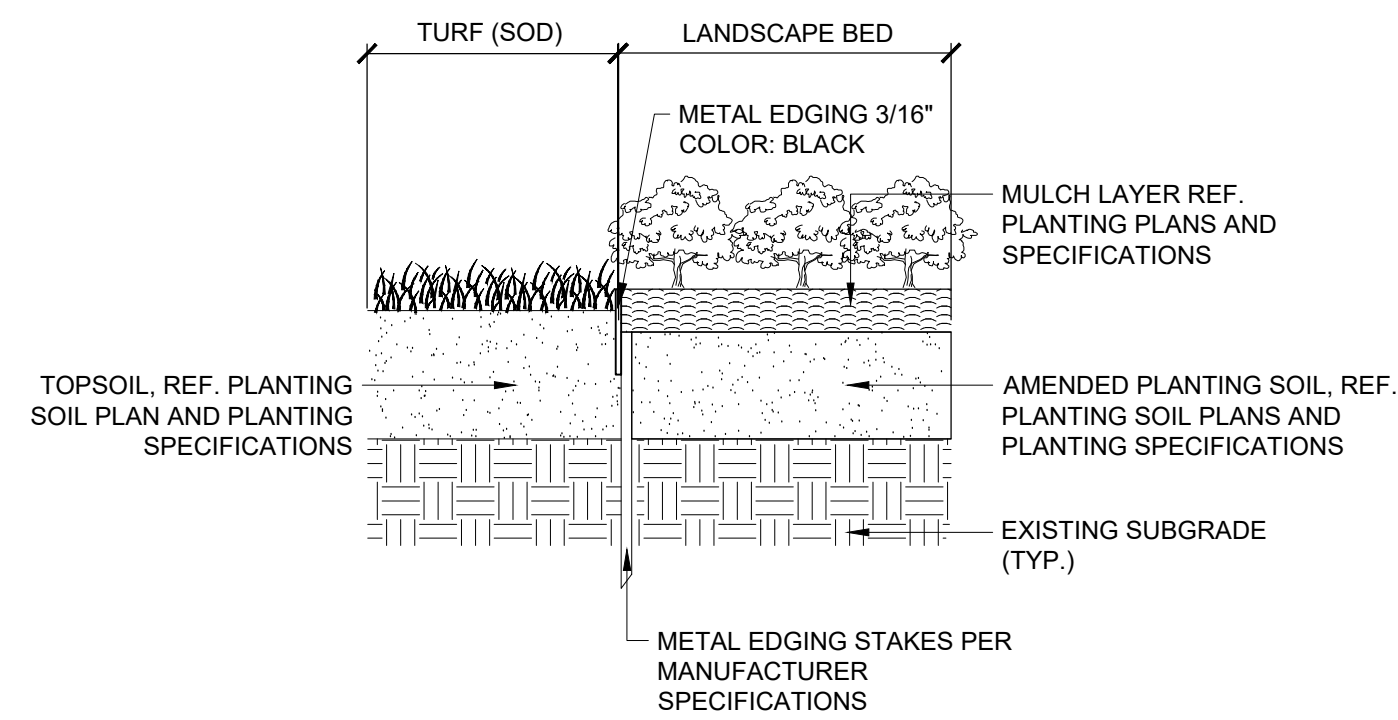
BGE, INC. THE DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. © INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC.

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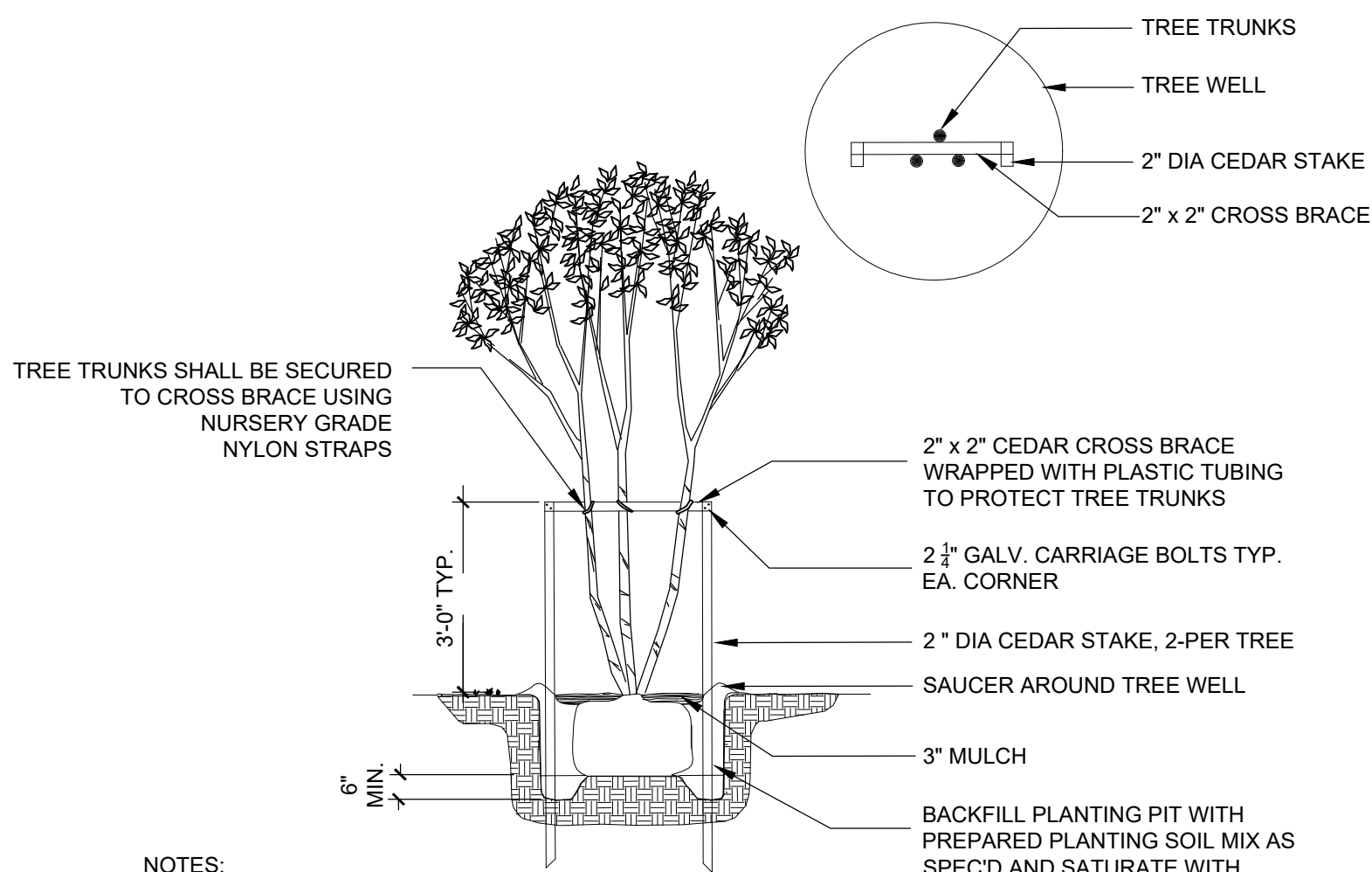
1. REMOVE SUCKER SHOOTS AT BASE OF TREE.
 2. MAKE CLEAN CUTS ON OLD STUDS IF PRESENT.
 3. REMOVE ENTIRE SUPPLY OF TWIGS AND BUDS ON TRUNK.
 4. REMOVE LOWER BRANCH WHERE AN OVERLYING BRANCH OCCUPIES APPROX. SAME AREA.
 5. SHAPE TREE BY REMOVING INJURED AND MISSHAPED BRANCHES.
 6. REMOVE CROSS BRANCHES AND THOSE DEVELOPING INTO SECONDARY LEADERS.
 7. DO NOT REMOVE LEADER.
- NOTE: DASHED LINES INDICATE BRANCHES TO BE REMOVED. NO MORE THAN 20 PERCENT OF LIMBS, FOLIAGE, ETC., TO BE REMOVED, UNLESS NOTED OTHERWISE.



A SHADE TREE PRUNING SECTION NOT TO SCALE

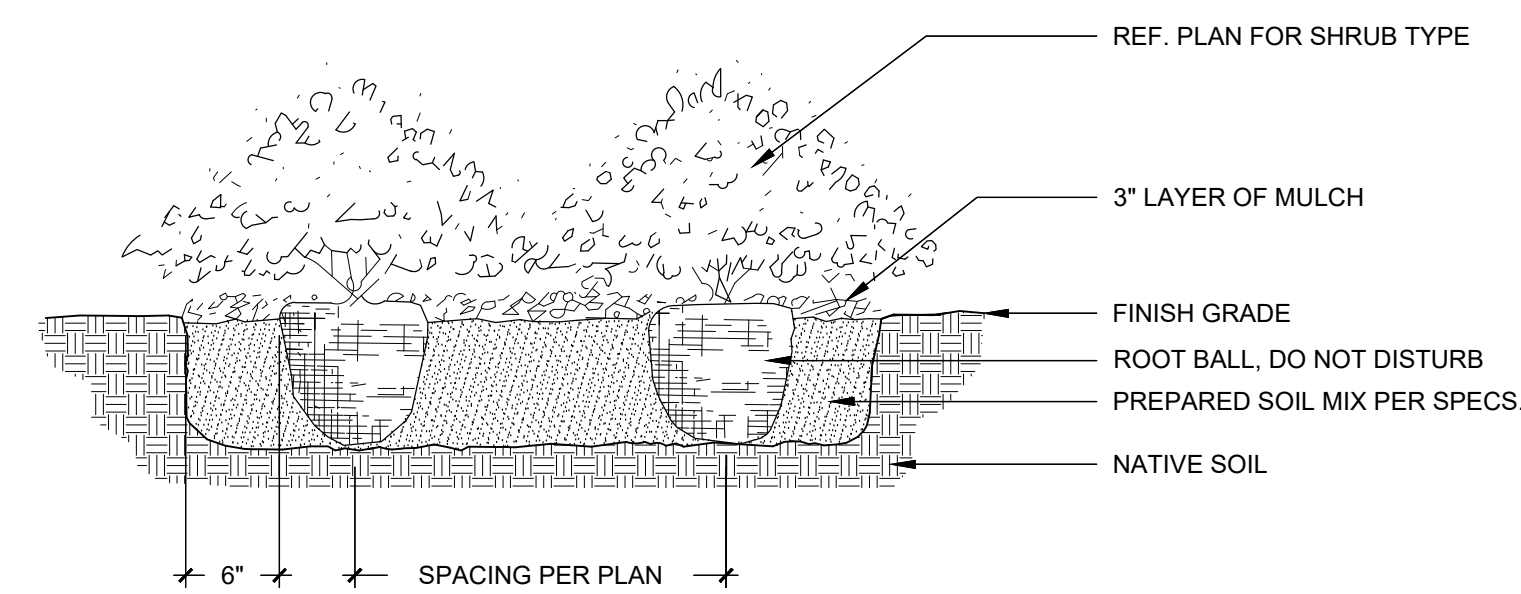


E STEEL EDGE SECTION NOT TO SCALE

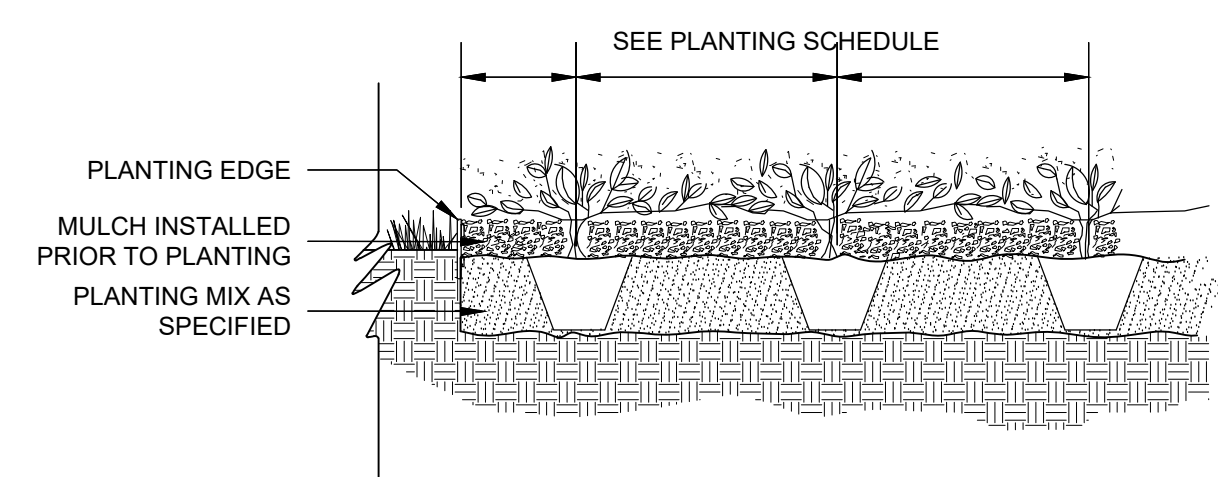


NOTES:
 * TEMPORARY TREE WELL, STAKES AND CROSS BRACE TO BE REMOVED AFTER ONE FULL GROWING SEASON.
 APPROXIMATELY 1/3 OF THE BRANCH STRUCTURE SHALL BE REMOVED BY THINNING BUT THE NATURAL CHARACTER AND GENERAL SHAPE OF THE TREE SHALL BE PRESERVED.

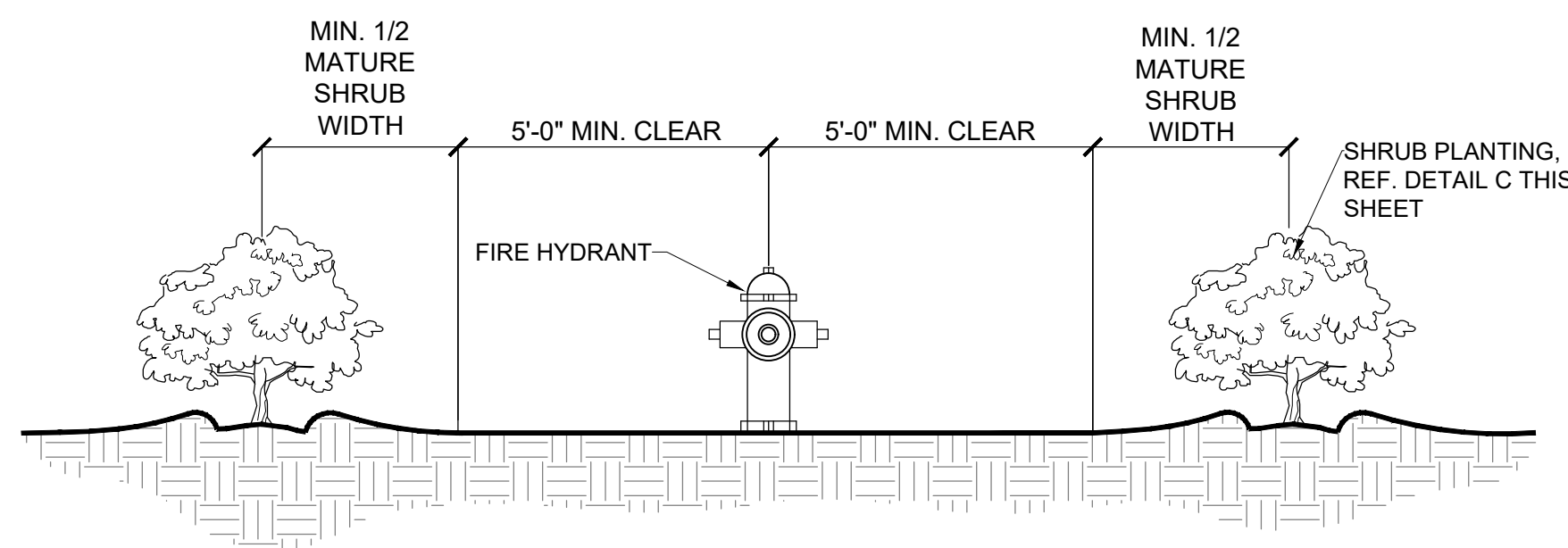
B ORNAMENTAL / MULTI-TRUNK TREE PLANTING SECTION / ELEVATION NO TO SCALE



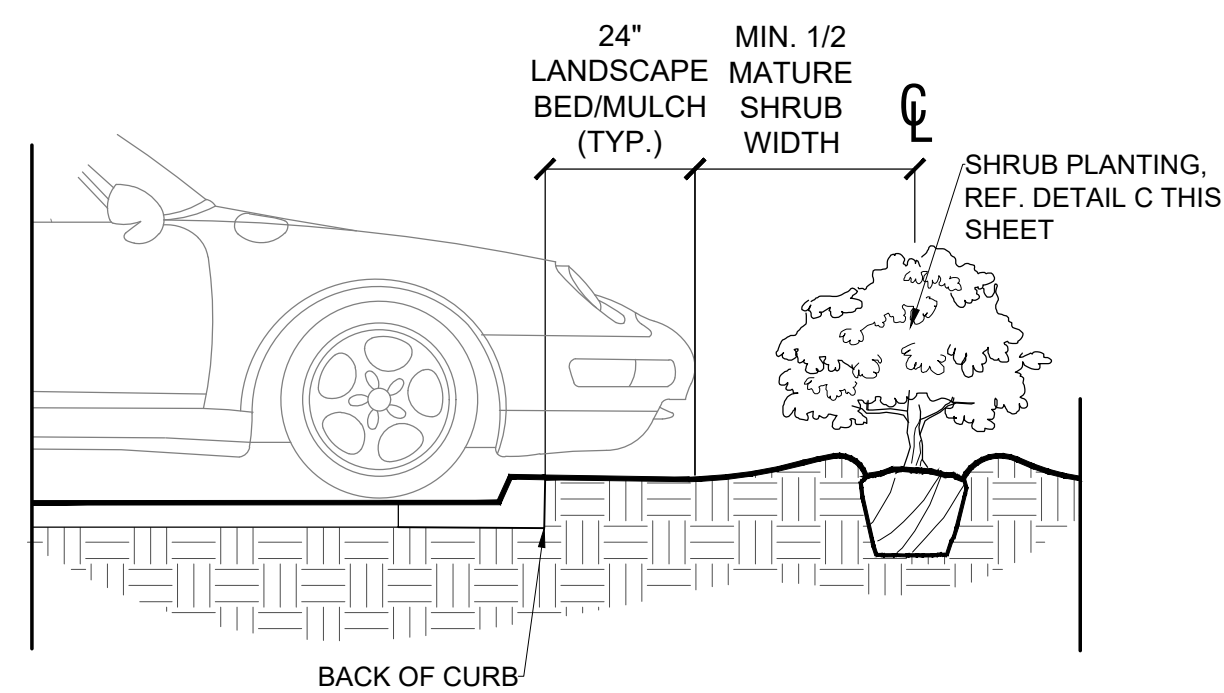
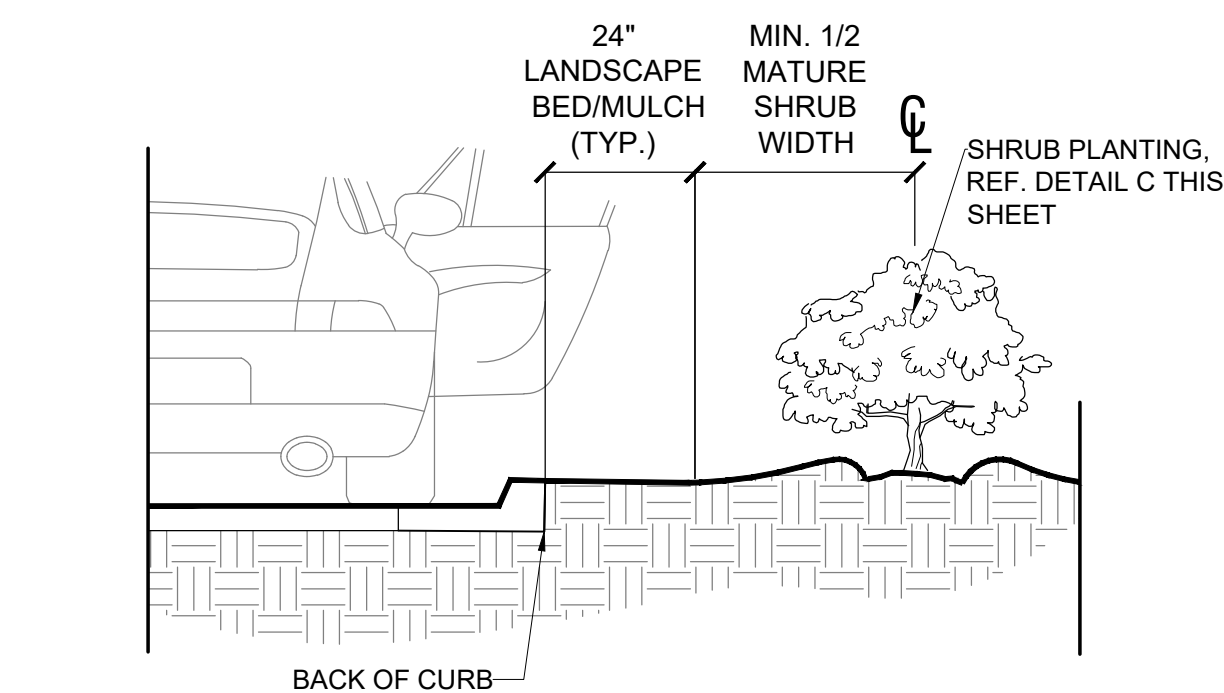
C SHRUB PLANTING SECTION NO TO SCALE



D GROUNDCOVER PLANTING SECTION NOT TO SCALE



F PLANTING AT FIRE HYDRANT SECTION NOT TO SCALE



G PLANTING AT CURB SECTION NOT TO SCALE

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SUBMITTED: SEPTEMBER 13, 2024
 RESUBMITTED: OCTOBER 1, 2024

BGE

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 Frisco, TX 75034
 Tel: 972-464-4800 • www.bgeinc.com
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DEVELOPER
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 1450 T L TOWNSEND DR. STE 100
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CITY SUBMITTAL SET

PLANTING DETAILS

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REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
 DESIGNED BY: NPS
 DATE: 10/8/2024
 PROJECT NUMBER: 13185-00

SHEET NO
L2.04
 PLANTING DETAILS

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

- 1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE OF TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF TWO HUNDRED DOLLARS (\$200) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED AT SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND AT TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

Table with 2 columns: MATERIALS, SAMPLES. Rows include MULCH, TOPSOIL, and PLANTS.

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE TO STANDARDIZED PLANT NAMES. 1. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY: SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS. LATENT DEFECTS OR INJURIES: REJECTED PLANTS SHALL BE REMOVED FROM THE SITE PRIOR TO LEAVING THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

- 1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 6.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.
2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL, MINIMUM TO BE PROVIDED.
4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.
7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.
8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.

a. ORGANIC SOIL AMENDMENTS

- 1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAND, LITTER, OR OTHER BEDDING MATERIALS. FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
3. COMPOST: DECOMPOSED ORGANIC MATERIAL, INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
4. PECAN HULLS: COMPOSTED PECAN HULLS FROM LOCAL SOURCE.
5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
6. WORM CASTINGS: EARTHWORMS.

b. INORGANIC SOIL AMENDMENTS

- 1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 90 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.
2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

c. PLANTING SOIL MIX

- 1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED EQUAL.
2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND, TILL TO DEPTH OF 12" OR AS OTHERWISE NOTED. FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
2. SOD/SEED AREA TOPSOIL: ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL. PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL. (MIN.) CONTAINER.

I. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

- 1. SHRUBS AND TREES - SUSTANE BLEND 16-4-8, OR APPROVED EQUAL.
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14 OR APPROVED EQUAL.
3. SOD - 8-8-8 FERTILIZER OR APPROVED EQUAL.

K. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

- 1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPARENT PRODUCT ("WILTRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED. THE REMOVAL OF THE PALM TRUNK OF THE PALM IS TO FACILITATE DOWING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.
5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

M. CONTAINER GROWN STOCK

- 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITIES, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

Q. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP JOB SITE AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH CONDITIONS DURING EXCAVATION WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS LINES AND TANKS, WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.
3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED FROM DAMAGE AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF PROPER DRAINAGE EXISTS, UTILIZE PLANTING DEPTH THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STOP" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT
- THREE (3) TABLETS PER 3 GAL. PLANT
- FOUR (4) TABLETS PER 10 GAL. PLANT
- LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT GROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6"; REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY.

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, AN APPROVED CHEMICAL HERBICIDE SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.
2. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZE APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
3. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER SQUARE FOOT. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.
4. SODDING
A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED OR PLANTED AREAS IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

5. SEEDING

1. PROVIDE FRESH, CLEAN, NEW CROP NATIVE GRASS AND/OR WILDFLOWER SEED MIXTURE IN SEALED CONTAINERS. FURNISH TO OWNER DEALER'S GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

2. DRILL SEEDING

A. DRILL SEED OR BROADCAST SEED ALL NATIVE GRASS AND WILDFLOWER MIXES, AS DESIGNATED IN PLANTING PLANS. NO HYDROMULCHING OF NATIVE SEED MIXES.

B. BEGIN SEEDING IMMEDIATELY AFTER APPROVAL OF FINISHED GRADE. DO NOT PERFORM SEEDING IN WINDY CONDITIONS OR FOLLOWING RECENT RAINFALL EVENTS.

C. PERFORM SEEDING FROM EARLY SPRING TO LATE SUMMER WHEN SOIL TEMPERATURES ARE ABOVE 65 DEGREES FAHRENHEIT. WHEN SEEDING OPERATIONS OF THE PERMANENT NATIVE SEED VARIETIES SPECIFIED IN THE PLANS DO NOT FALL WITHIN THE SPECIFIED DATES, ANNUAL RYE GRASS WILL BE SEEDING AT A RATE OF 10 POUNDS PER 1,000 SQUARE FEET USING A NO-TILL DRILL SEEDER DESIGNED SPECIFICALLY FOR GRASS SEEDING. CONVERSION TO THE PERMANENT NATIVE SEED VARIETIES IS PART OF THIS SCOPE OF WORK AND WILL TAKE PLACE AS AND WHEN SPECIFIED.

D. APPLY NATIVE SEED AT THE RATE SPECIFIED BY THE DEALER. ALL SEED, SEED MIXES, AND FERTILIZER TO BE UNIFORMLY APPLIED AT THE SPECIFIED RATE. AMOUNT WILL VARY BASED ON TYPE AND SPECIES OF SEED. SEED SHALL BE DRILLED AT A DEPTH FROM ONE-QUARTER INCH (1/4") TO THREE-EIGHTHS INCHES (3/8") UTILIZING A NO-TILL DRILL SEEDER DESIGNED SPECIFICALLY FOR GRASS SEEDING. ALL DRILLING IS TO BE DONE ON CONTOUR.

E. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CULTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE. ALL ROLLING TO BE DONE ON CONTOUR. DO NOT SEED AREAS IN EXCESS OF WHAT CAN BE ROLLED ON THE SAME DAY.

F. SURFACE LAYER OF SOIL FOR SEEDING AREAS SHALL BE KEPT MOIST DURING THE GERMINATION PERIOD. WATER SEEDING AREAS TWICE DURING THE FIRST WEEK TO A MINIMUM DEPTH OF 6 INCHES WITH A FINE SPRAY, AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

G. AFTER APPLICATION, THE CONTRACTOR SHALL NOT OPERATE ANY EQUIPMENT OVER THE COVERED AREA.

H. PLACE EROSION BLANKET OVER AREAS SLOPED SLOPED 1:3 OR GREATER. ROLL EROSION BLANKET ON SLOPES WITHOUT STRETCHING OR PULLING. ANCHOR EROSION BLANKET WITH WIRE STAPLES AT THE EDGES AND THROUGH THE CENTER AT 36" INTERVALS. USE TRENCH IN EDGES PER MANUFACTURER'S RECOMMENDATION.

I. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDING AREAS ESTABLISHED AS INTENDED.

6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRAIDING IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

T. CLEAN-UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM THEIR WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION.

V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL NINETY (90)-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

W. GUARANTEE

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.
2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.
3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
4. IN THE EVENT THE OWNER DOES NOT ENGAGE THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.



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OWNER
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CONTACT: JAY KANTER

CITY SUBMITTAL SET
PLANTING SPECIFICATIONS
HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.
RESPONSIBLE LANDSCAPE ARCHITECT: MICHAEL STOTLER, P.L.A. TEXAS REGISTRATION NO. 3743
BGE, INC. TEXAS REGISTERED ENGINEERING FIRM F-1046 10/8/2024

CAUTION !!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities
CAUTION !!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

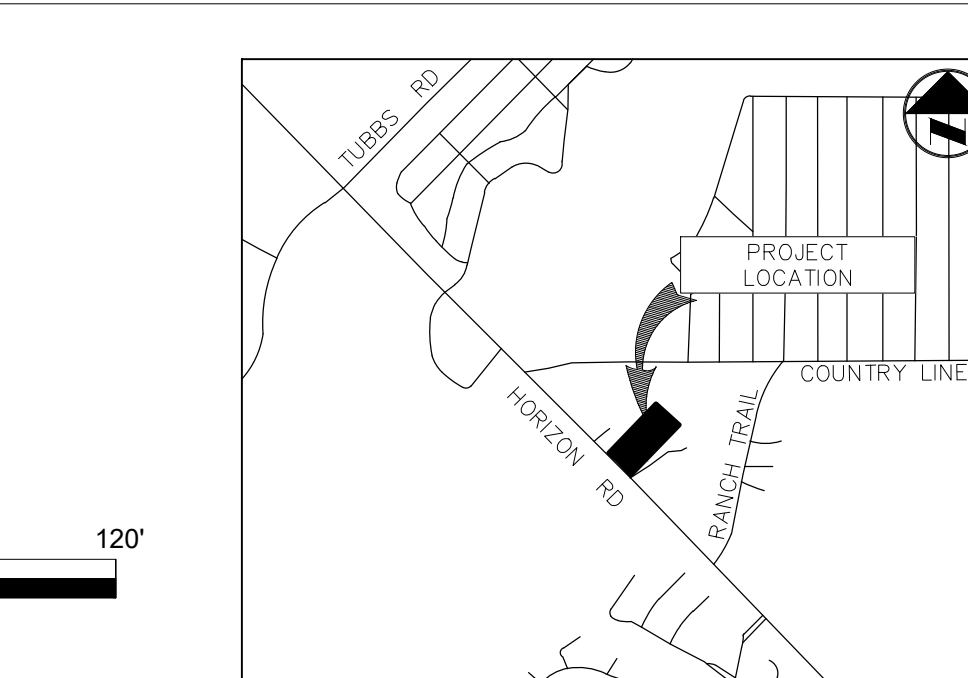
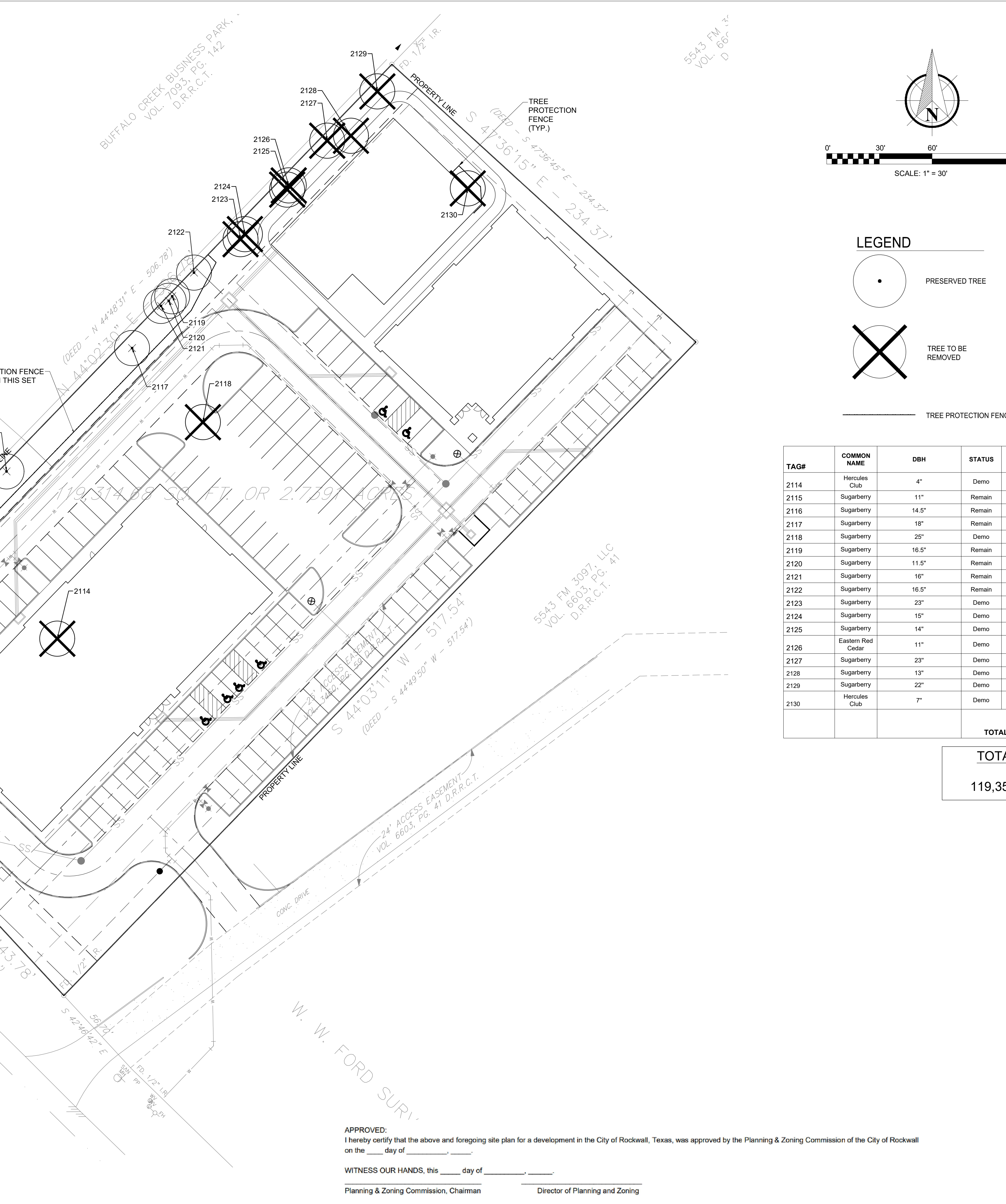
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CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 10/8/2024
PROJECT NUMBER: 13185-00

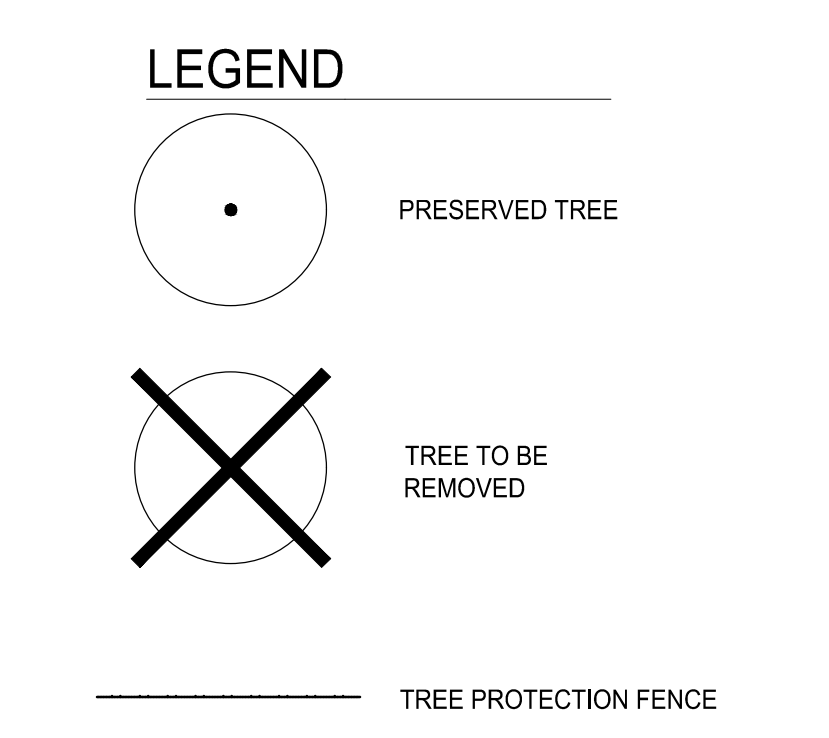
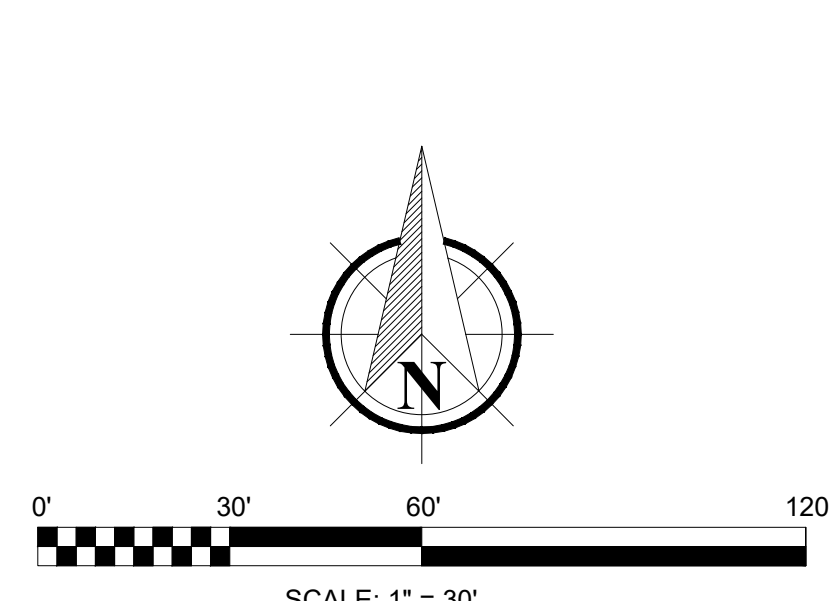
SHEET NO
L2.00
PLANTING SPECIFICATIONS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___.
WITNESS OUR HANDS, this ___ day of ___.
Planning & Zoning Commission, Chairman Director of Planning and Zoning

BGE, INC. PROJECT: PLATINUM COMMERCIAL OFFICES. DATE: 10/8/2024. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC.



VICINITY MAP
(NOT TO SCALE)



TAG#	COMMON NAME	DBH	STATUS	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	MITIGATION INCHES
2114	Hercules Club	4"	Demo	4	N	N	N	4
2115	Sugarberry	11"	Remain	2	Y	N	N	0
2116	Sugarberry	14.5"	Remain	4	N	N	N	0
2117	Sugarberry	18"	Remain	4	N	N	N	0
2118	Sugarberry	25"	Demo	4	N	N	N	0
2119	Sugarberry	16.5"	Remain	4	N	N	N	0
2120	Sugarberry	11.5"	Remain	4	N	N	N	0
2121	Sugarberry	16"	Remain	4	N	N	N	0
2122	Sugarberry	16.5"	Remain	4	N	N	N	0
2123	Sugarberry	23"	Demo	4	N	N	N	0
2124	Sugarberry	15"	Demo	4	N	N	N	0
2125	Sugarberry	14"	Demo	4	N	N	N	0
2126	Eastern Red Cedar	11"	Demo	4	N	N	N	4
2127	Sugarberry	23"	Demo	4	N	N	N	0
2128	Sugarberry	13"	Demo	4	N	N	N	0
2129	Sugarberry	22"	Demo	4	N	N	N	0
2130	Hercules Club	7"	Demo	4	N	N	N	7
TOTAL MITIGATION INCHES								15

TOTAL SITE AREA
119,354 SF (2.73 AC)

CITY SUBMITTAL SET
TREE PRESERVATION PLAN
HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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 CONTACT: JAY KANTER

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 RESPONSIBLE LANDSCAPE ARCHITECT:
 MICHAEL STOTTLER, P.L.A.
 TEXAS REGISTRATION NO. 3743
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 10/8/2024

!CAUTION!
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION!!!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
 DESIGNED BY: NPS
 DATE: 10/8/2024
 PROJECT NUMBER: 13185-00

SHEET NO
L1.00

TREE PRESERVATION PLAN

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.
 WITNESS OUR HANDS, this ____ day of _____.
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SUBMITTED: SEPTEMBER 13, 2024
 RESUBMITTED: OCTOBER 1, 2024



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CITY SUBMITTAL SET

TREE PRESERVATION DETAILS

HORIZON RD. COMMERCIAL OFFICES
 W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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CAUTION !!
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

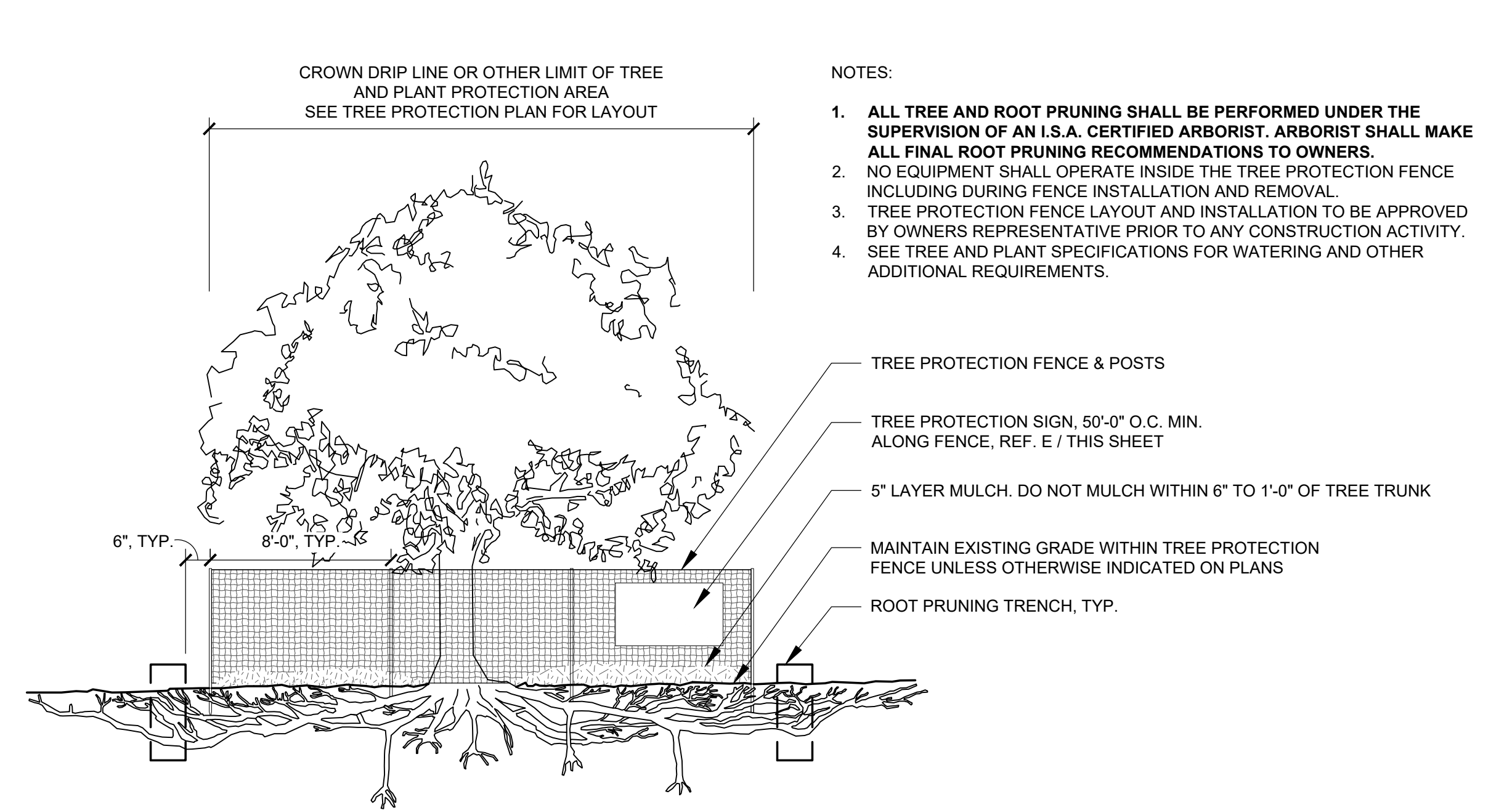
CAUTION !!!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

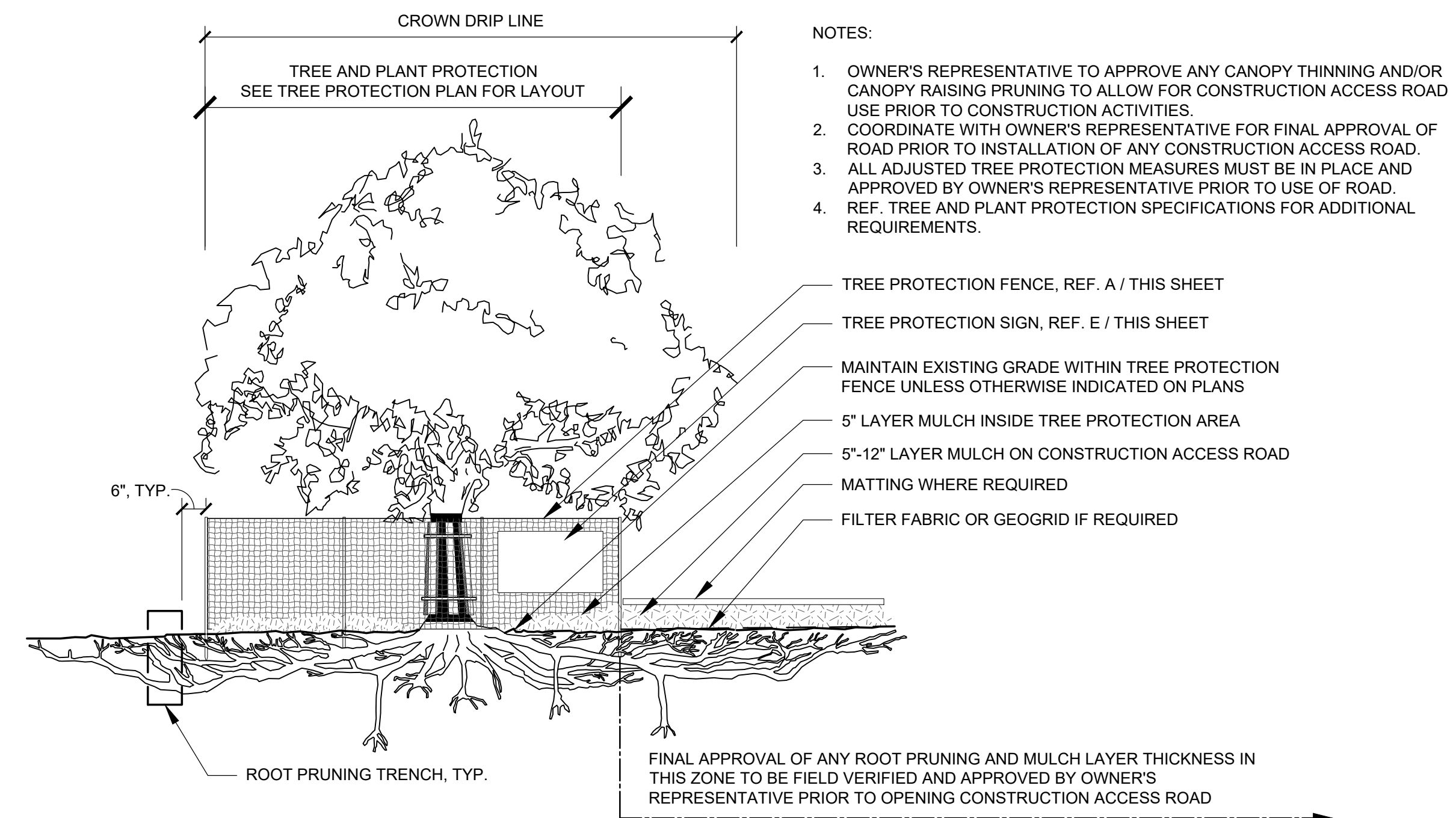
CHECKED BY: MLS
 DESIGNED BY: NPS
 DATE: 10/8/2024
 PROJECT NUMBER: 13185-00

SHEET NO
L1.01

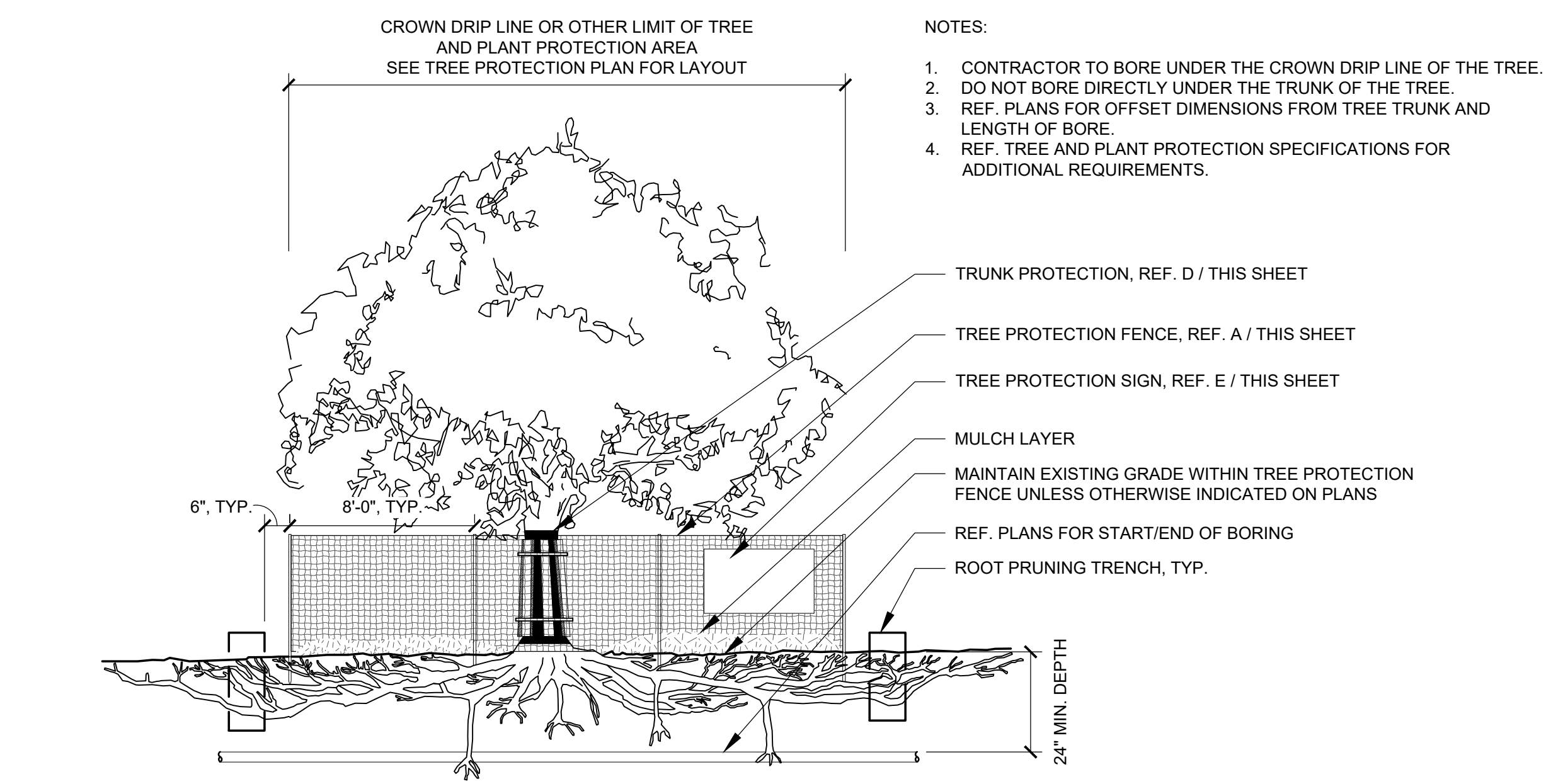
TREE PRESERVATION DETAILS



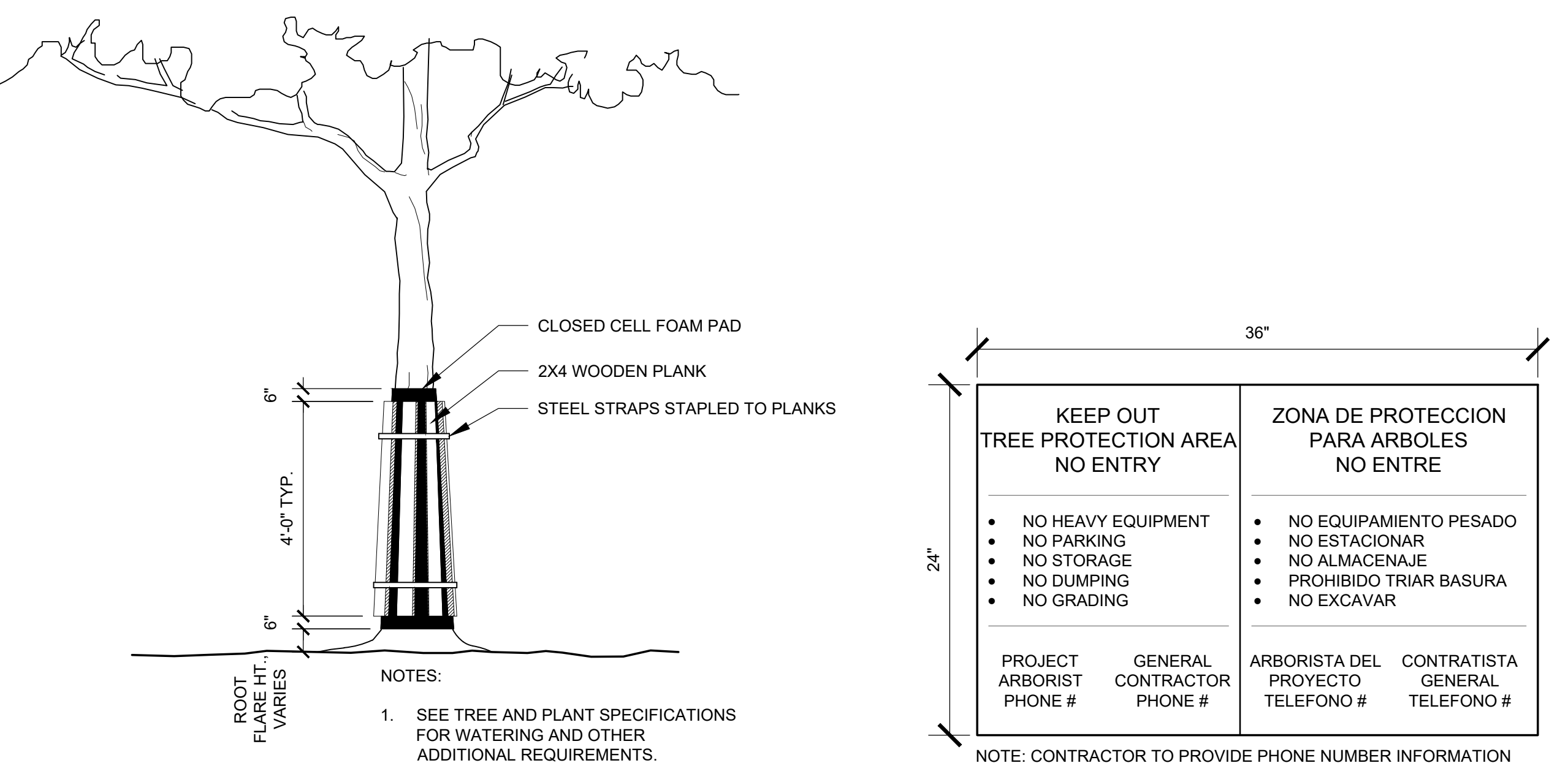
A TYPICAL TREE PROTECTION FENCING
 SECTION NOT TO SCALE



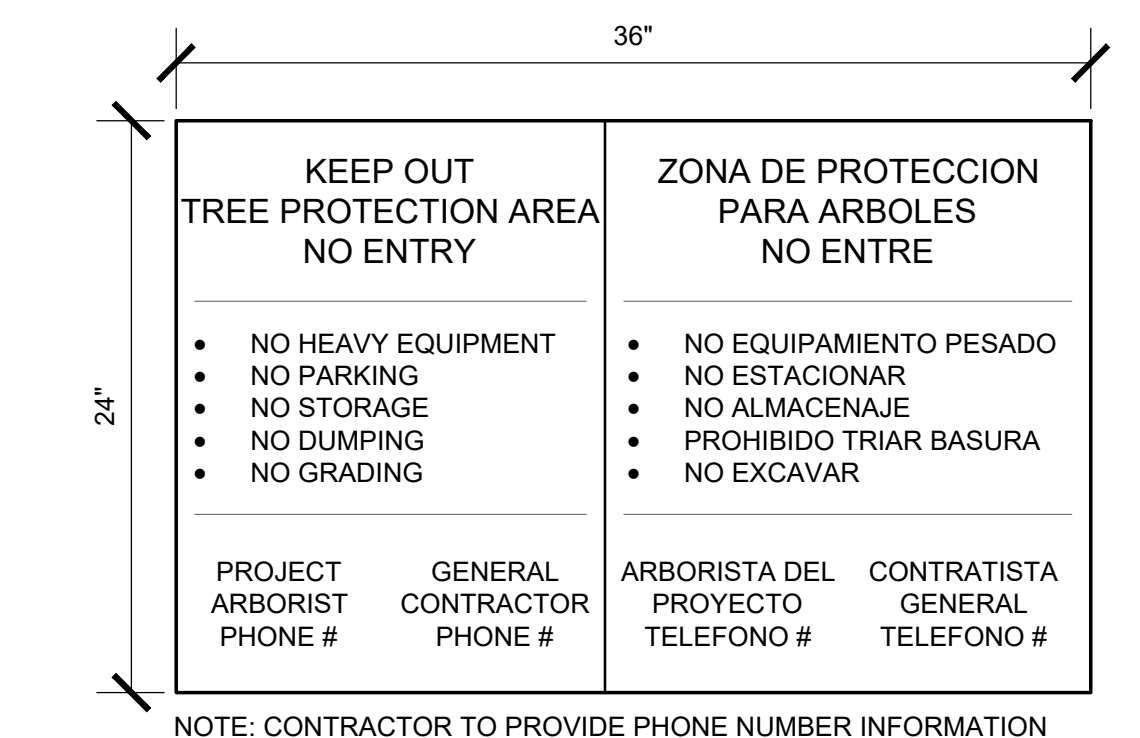
C TREE PROTECTION: CONSTRUCTION ACCESS ROAD
 SECTION NOT TO SCALE



B TREE PROTECTION: UTILITY BORING UNDER DROWN DRIP LINE
 SECTION NOT TO SCALE



D TRUNK PROTECTION
 ELEVATION NOT TO SCALE



E TRUNK PROTECTION
 ENLARGEMENT NOT TO SCALE

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____.

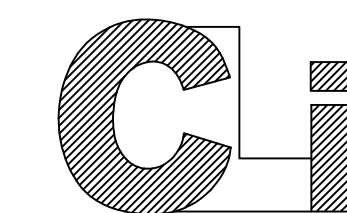
WITNESS OUR HANDS, this ___ day of ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

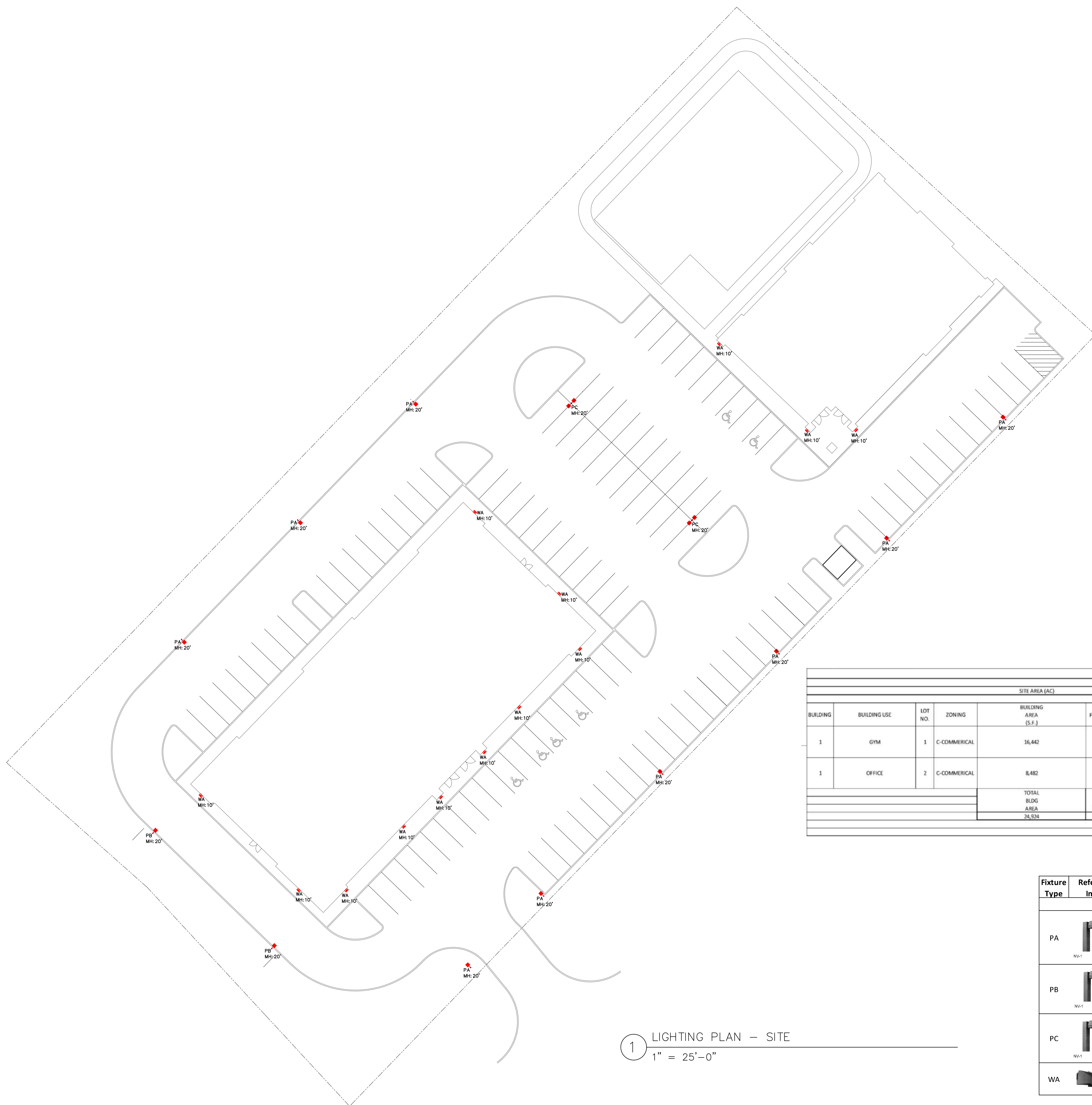
SITE PLAN
CASE NUMBER: SP2024-040
 HORIZON ROAD COMMERCIAL OFFICES
 2.7391 ACRES (119316 SF.) BEING SITUATED IN
 THE W.W FORD SURVEY, ABSTRACT NO. 80
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SUBMITTED: SEPTEMBER 13, 2024
 RESUBMITTED: OCTOBER 1, 2024

BGE, INC. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC.



CLI Design
Los Angeles, Miami & New York
Tel: 800-755-0155 | Fax: 760-262-3940

No.	Issue	Date
0.		08.16.2024
1.		10.03.2024



SITE INFORMATION																	
SITE AREA																	
SITE AREA (AC)										2.74 AC (119,354 SF)							
SITE DATA SUMMARY																	
BUILDING	BUILDING USE	LOT NO.	ZONING	BUILDING AREA (S.F.)	BLDG FOOTPRINT (S.F.)	FLOOR AREA RATIO	LOT AREA (S.F.)	LOT COV. (%)	IMPERVIOUS LOT COVERAGE (S.F.)	PROPOSED BUILDING HEIGHT	# OF BUILDING STORIES	PARKING RATIO	PARKING REQUIRED	TOTAL PARKING REQUIRED	TOTAL PARKING PROVIDED	HANDICAP PARKING REQUIRED	HANDICAP PARKING PROVIDED
1	GYM	1	C-COMMERCIAL	16,442	16,442	0.274	59,497	27.37	46,430	42'	1+ Mezzanine	1/200 (GYM)	83	83	83	4	4
1	OFFICE	2	C-COMMERCIAL	8,482	8,482	0.14	59,025	14.37	37,681	24'	1	1/300 (OFFICE)	29	29	33	2	2
				TOTAL BLDG AREA	TOTAL BLDG FOOTPRINT	TOTAL FLOOR AREA RATIO											
				24,924	24,924	0.417											

NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

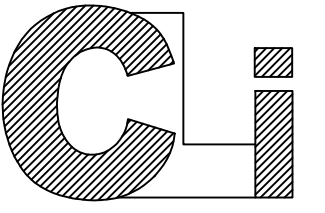
1 LIGHTING PLAN – SITE
1" = 25'-0"

Fixture Type	Reference Image	Description	Dimming Interface	Product Registration ID	Lamps, CCT, Lumen, Optics, CRI	Input Voltage	Fixture Wattage	Mounting, Finishes, Remarks & Other Notes
EXTERIOR FIXTURE TYPES								
PA		Single-Head Area New Pole, Type IV Distribution with House Side Shield	N/A	CLI-NV-1-T4-32L-1-40K7-UNV-XX-XX-XX-HSS	Integrated LED Module, 4000K, 12,826lm, Type IV Distribution, w/Backlite Control, 70CRI	UNI-VAC	106	Single-head Mounted to 20'-0" Existing pole. Engineer to determine required base/pole size/height. Finish TBD.
PB		Single-Head Area New Pole, Type III Distribution	N/A	CLI-NV-1-T3-32L-1-40K7-UNV-XX-XX-XX-HSS	Integrated LED Module, 4000K, 13,038lm, Type III Distribution, w/Backlite Control, 70CRI	UNI-VAC	106	Single-head Mounted to 20'-0" Existing pole. Engineer to determine required base/pole size/height. Finish TBD.
PC		Double-Head Area New Pole, Type V Distribution	N/A	CLI-NV-1-T3-32L-1-40K7-UNV-XX-XX-XX	2-Integrated LED Module, 4000K, (2)13,144lm, Type V Distribution, 70CRI	UNI-VAC	212	Double-heads Mounted to 20'-0" New pole. Engineer to determine required base/pole size/height. Finish TBD.
WA		Wall pack	TBD	CLI-NV-W-T4-16L-7-40K7-UNV-WM-XX-XX-XX	Integrated LED, 4000K, 4,651Lm, Type 4 Distribution	UNI-VAC	37	Direct mounted to building at 100" AFG. Finish TBD.

PLATINUM HORIZON
STREET NUMBER
CITY, ST ZIP

ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF COMMERCIAL LIGHTING INC. DO NOT SCALE DRAWINGS. ALL MEASUREMENTS MUST BE CHECKED ON SITE BY THE CONTRACTOR AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE DESIGNER OR ARCHITECT.

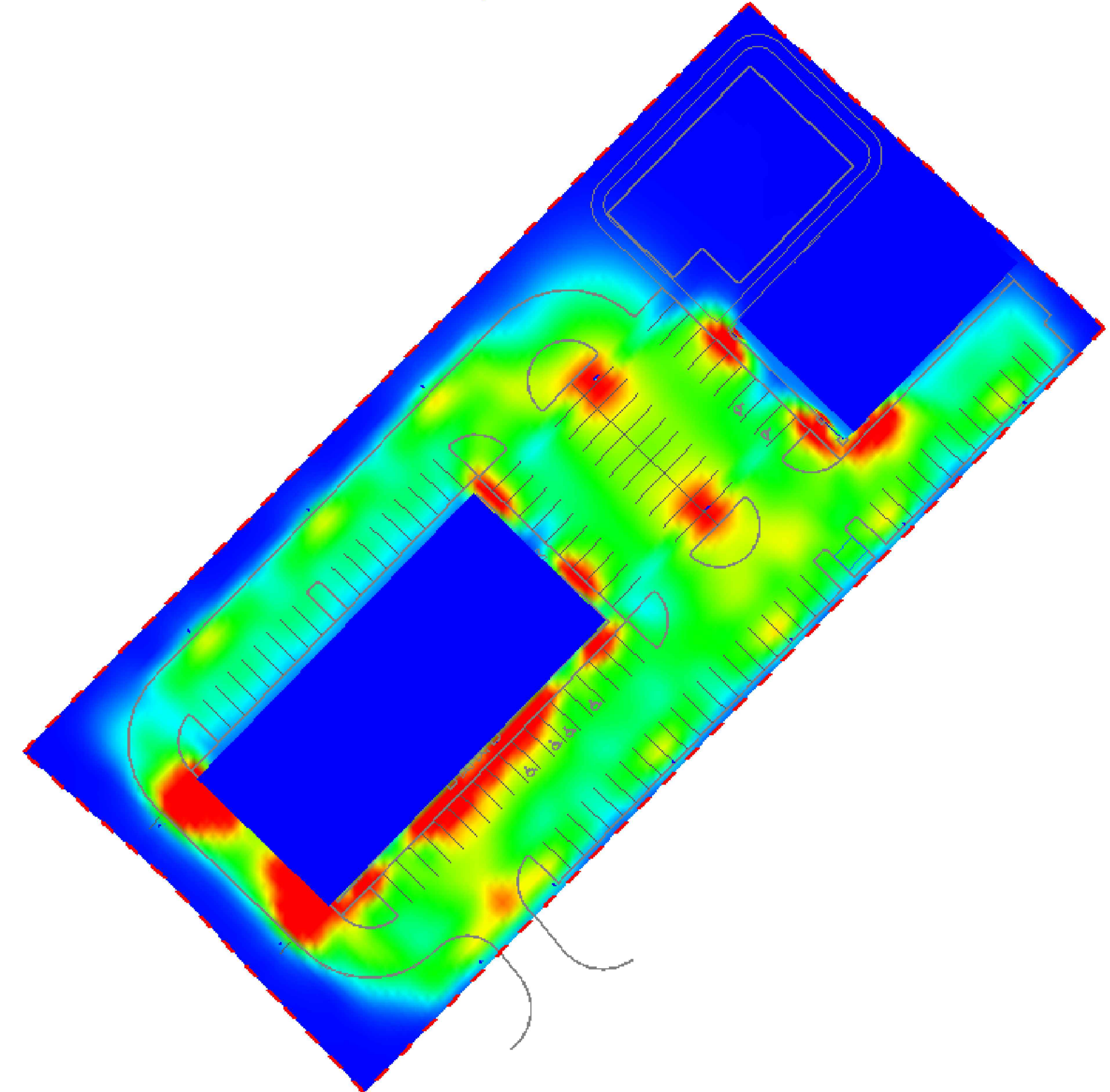
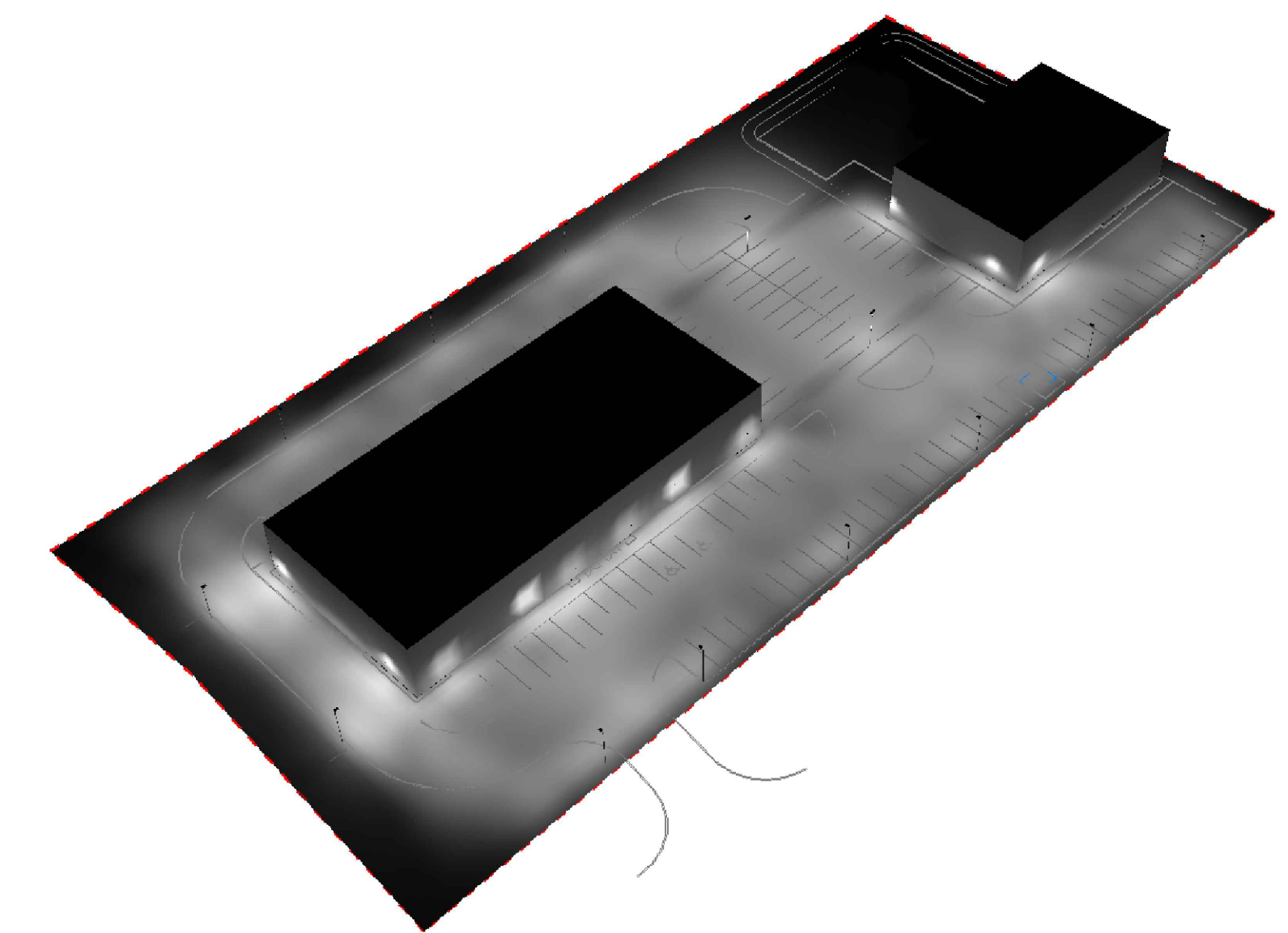
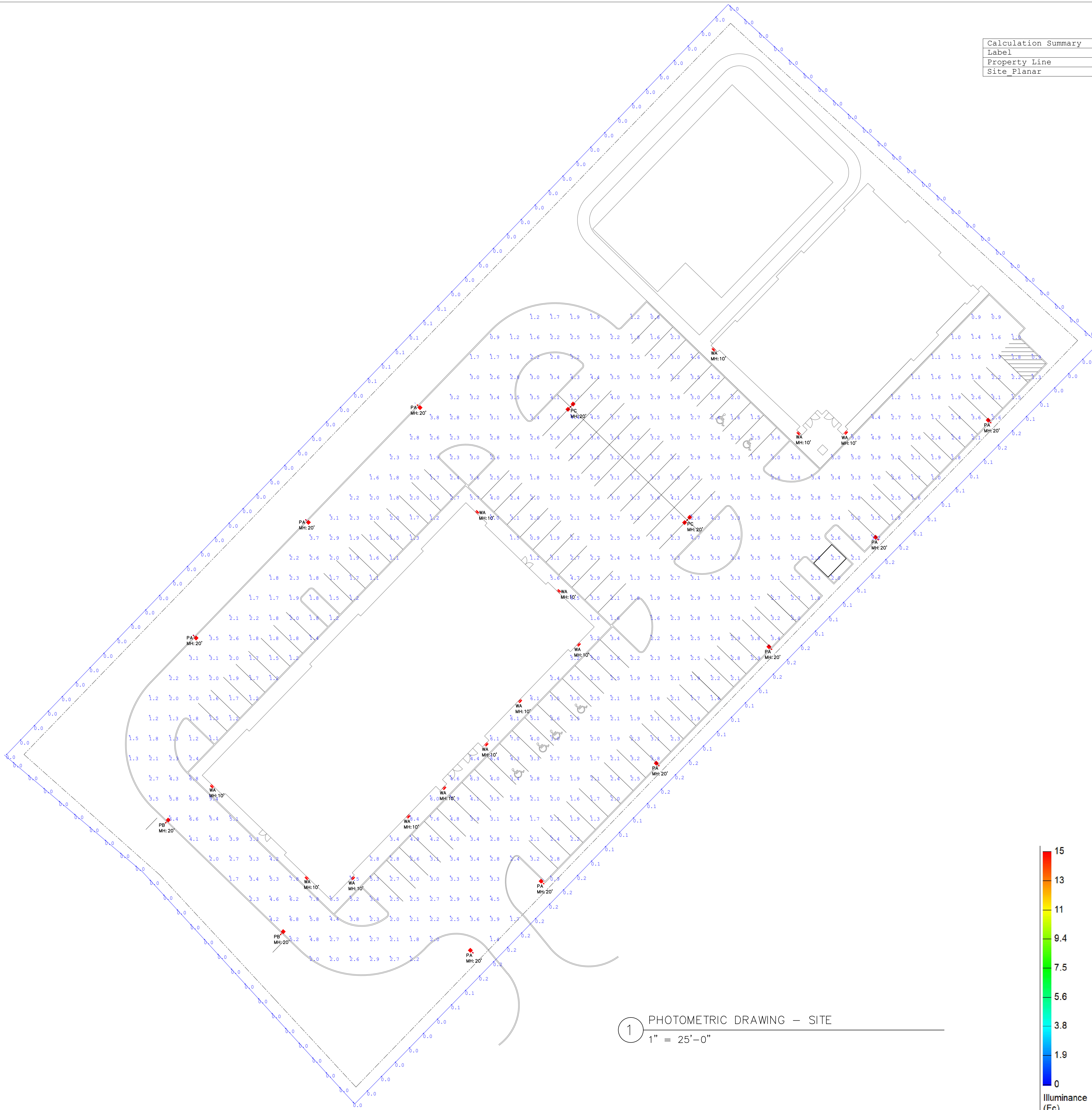
Lighting Plan Site



CLI Design
Los Angeles, Miami & New York
Tel: 800-755-0155 | Fax: 760-262-3940

No.	Issue	Date
0.		08.16.2024
1.		10.03.2024

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Property Line	Illuminance	Fc	0.04	0.2	0.0	N.A.
Site Planar	Illuminance	Fc	2.64	9.4	0.8	3.55



1 PHOTOMETRIC DRAWING – SITE
1" = 25'-0"

PLATINUM HORIZON

STREET NUMBER
CITY, ST ZIP

ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF COMMERCIAL LIGHTING INC. DO NOT SCALE DRAWINGS. ALL MEASUREMENTS MUST BE CHECKED ON SITE BY THE CONTRACTOR AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE DESIGNER OR ARCHITECT.

PHOTOMETRIC DRAWING SITE

Scale	Date
AS SHOWN	08.16.2024
Drawn by M.CH	Checked by I.D.
Sheet No.	

LDE-1.2



LED WATTAGE CHART

	16L	32L	48L	64L
400 milliamps	21w	-	-	-
530 milliamps	28w	-	-	-
700 milliamps	36w	71w	104w	136w
1050 milliamps	56w	106w	156w	205w

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - Auto Dealerships
 - General Area Lighting

CONSTRUCTION

- Die Cast Aluminum
- External cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

FINISH

- 3-5 mils electrostatic powder coat.
- NLS' standard high-quality finishes prevent corrosion, protects against extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.

BUY AMERICAN

To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American Act), TAA (Trade American Act), or BABA (Build America, Buy America).





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Project Name:

Type:

NV-1 ORDERING GUIDE

Cat#	Light Dist.	# of LEDs	Miliamps	Kelvin	Volts
NV-1 (NV-1)	Type 2 (T2)	16 (16L)	400 (40)	Amber 586-600nM (AMBER) ^{10, 12, 13}	120-277 (UNV)
	Type 3 (T3)	32 (32L) ¹⁵	530 (53)	2700K, 70 CRI (27K7) ⁶	347-480 (HV)
	Type 4 (T4)	48 (48L) ¹⁵	700 (7)	2700K, 80 CRI (27K8) ^{1, 6}	
	Type 5 (T5)	64 (64L) ¹⁵	1050 (1)	3000K, 70 CRI (30K7) ⁶	
	Nema 3 30o Narrow Beam (N3)			3000K, 80 CRI (30K8) ^{1, 6}	
	Corner Distribution Left (CDL)			3500K, 80 CRI (35K8) ¹	
	Corner Distribution Right (CDR)			4000K, 70 CRI (40K7)	
				4000K, 80 CRI (40K8) ¹	
				5000K, 70 CRI (50K7)	
				5000K, 80 CRI (50K8) ¹	
Mounting	Color	Controls Options	Options	Lens Options	
Architectural Sweep Arm (ASA)	Bronze Textured (BRZ)	Nema 7-Pin Receptacle (PE7)	Bird Spikes (BS)	Glass Lens (GL) ^{7, 14}	
Direct Pole 3" Arm Single D180 (DPS3) ²	White Textured (WHT)	Photocell + Receptacle (PCR)	Marine Grade Finish (MGF)	HAL Lens (HAL) ^{8, 14}	
Direct Pole 7" Arm D180, D90, T90, T120, Quad (DPS7) ²	Smooth White Gloss (SWT)	Receptacle + Shorting Cap (PER)	Optic Plate Painted to Match Fixture (OPP)		
Knuckle Mount (KM)	Silver Metallic (SVR)	FSP-211 with Motion Sensor 9'-20' Heights (FSP-20) ⁴	Quick Mount Bracket (QMB)		
Wall Mount (WM)	Black Textured (BLK)	21'-40' Heights (FSP-40) ⁴	Retrofit Mount Bracket (RQMB)		
Trunnion Mount (TM) ³	Smooth Black Gloss (SBK)	Custom Controls Integration (CCI) ⁹	Round Pole Adaptor 3"-4" Pole (RPA4)		
Tennis Arm Mount (TA)	Graphite Textured (GPH)	Button Type Photocell (PC) ⁴	Round Pole Adaptor 5"-6" Pole (RPA5)		
Mast Arm Mount (MA)	Grey Textured (GRY)		Rotated Optic Left (ROL)		
	Green Textured (GRN)		Rotated Optic Right (ROR)		
	Hunter Green Textured (HGN)		House Side Shield (HSS) ⁵		
	Custom (CS)		Black Hardware (BH)		
			Black Optic Frame (BOF)		
			Buy American Act (BAA) ¹¹		
			Trade Agreement Act (TAA) ¹¹		
			Build America Buy American (BABA) ¹¹		

NOTES:

1. Consult Factory for Lead Time. Consult Factory for 90 CRI Requests.
2. For Round Pole Specify RPA4 or RPA5
3. Standard finish is stainless steel. Can be painted to match fixture.
4. Universal Voltage 120-277
5. HSS not applicable with Nema 2.
6. 3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.
7. Glass Lens: Low iron glass, fully tempered per ANSI C1047 (QCH-2201-37)
8. HAL Lens: Yellow Polycarbonate Lens – less than 2% Blue Light Content
9. Please contact Factory for Custom Control Integration requests (nLight, NX, WaveLinx, Crestron, DMX/RDM, Synapse, Casambi, Dali II, Avi-On, or other control systems)
10. Turtle Safe
11. Consult factory for all BAA/TAA/BABA requests
12. Consult Factory for Lead Time
13. Not Available above 1000mA
14. Contact Factory
15. Available only in 700mA and 1050mA



701 Kingshill Place, Carson, CA 90746
Call Us Today (310) 341-2037

nlsighting.com

PRODUCT SPECIFICATIONS

ELECTRICAL

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- LED Drivers Ambient Temp. Min is -40°C and Ambient Temp. Max ranges from 50°C to 55°C and, in some cases, even higher. Consult the factory for revalidation by providing the fixture catalog string before quoting and specifying it
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP65 compartment
- CRI 70, 80 or 90 (Contact factory for 90 CRI)
- Color temperatures: Amber, 2700K, 3000K, 3500K, 4000K, 5000K
- Surge Protection: 20KVA supplied as standard

CONSTRUCTION

- Die Cast Aluminum
- External cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

OPTIONS

- BIRD SPIKES (BS) - Offers a practical and humane deterrent for larger bird species and provides a cost-effective long-term solution to nuisance bird infestations and protects your property
- MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Pre-baked, Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness
- OPTIC PLATE PAINTED TO MATCH FIXTURE (OPP) - Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture.
- QUICK MOUNT BRACKET (QMB) - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern
- RETROFIT MOUNT BRACKET - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6"
- ROUND POLE ADAPTER (RPA) - When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles
- ROTATED OPTICS (ROL) (ROR) - Rotated optics are designed for perimeter lighting for auto dealerships
- HOUSE SIDE SHIELD (HSS) Designed for full property line cut-off
- BLACK HARDWARE (BH) - Optional black, zinc coated steel hardware
- BLACK OPTIC FRAME (BOF) - Optional black optic frame. Standard is white
- GLASS LENS (GL) - Low Iron Glass, fully tempered
- High performance amber lens (hal)

CONTROL OPTIONS

- FSP-211 (FSP-X) - Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution
- All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles
- FSP-20 mounting heights 9-20 feet
- FSP-40 mounting heights 21-40 feet
- Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field
- FSIR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering
- NEMA 7-PIN RECEPTACLE (PE7)—An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect
- PHOTOCCELL + RECEPTACLE (PCR)—7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation
- RECEPTACLE + SHORTING CAP (PER)—7-Pin Receptacle and Shorting Cap
- Controls Agnostic: Please contact factory for your preferred controls option. (nLight, NX, WaveLinx, Crestron, DMX/RDM, Synapse, Casambi, DALI II, Avi-On, or other control systems)

FINISH

- 3-5 mils electrostatic powder coat
- NLS Light's standard high-quality finishes prevent corrosion protects against and extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.

OPTICS

Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time

LISTINGS

- Certified to UL 1598
- UL 8750
- CSA C22.2 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium Premium® (DLCP)
- IP65/ IP67 Rated
- 3G Vibration Rated per ANSI C136.31-2010
- IDA Dark Sky Approved
- IK10 Rated

BUY AMERICAN OPTION

While all of the NLS Lighting products listed in this document qualify for the Buy America(n) Act of 1933, we reserve the right to change our listings without notice.

The information provided above is for general informational purposes only. We encourage you to consult legal professionals for advice particular to your projects concerning BAA, TAA, BABA or Buy America.

Additional NLS Products that meet BAA, TAA standards can be found at the following link:

<https://nlsighting.com/buy-american/>



The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.



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PRODUCT SPECIFICATIONS

LUMENS CHART 16L, 32L, & 48L

CAT#	N3	LM/W	T2	LM/W	T3	LM/W	T4	LM/W	T5	LM/W	W
NV-1-16L-40-27K7	1,749	83	2,324	111	2,342	112	2,307	110	2,360	112	21
NV-1-16L-40-30K7	2,037	97	2,333	111	2,532	121	2,316	110	2,552	122	21
NV-1-16L-40-40K7	2,436	116	2,715	129	2,736	130	2,695	128	2,757	131	21
NV-1-16L-40-50K7	2,520	120	2,715	129	2,736	130	2,695	128	2,757	131	21
NV-1-16L-53-27K7	2,543	91	2,588	92	3,015	108	2,920	104	3,041	109	28
NV-1-16L-53-30K7	3,136	112	3,192	114	3,220	115	3,119	111	3,248	116	28
NV-1-16L-53-40K7	3,248	116	3,472	124	3,472	124	3,444	123	3,500	125	28
NV-1-16L-53-50K7	3,360	120	3,612	129	3,640	130	3,584	128	3,668	131	28
NV-1-16L-7-27K7	3,269	91	3,327	92	3,876	108	3,755	104	3,910	109	36
NV-1-16L-7-30K7	4,032	112	3,960	110	3,960	110	3,973	110	3,996	111	36
NV-1-16L-7-40K7	4,176	116	4,428	123	4,284	119	4,212	117	4,320	120	36
NV-1-16L-7-50K7	4,320	120	4,644	129	4,500	125	4,428	123	4,500	125	36
NV-1-16L-1-27K7	5,085	91	5,176	92	6,030	108	5,841	104	6,082	109	56
NV-1-16L-1-30K7	6,272	112	6,160	110	6,384	114	6,232	111	6,440	115	56
NV-1-16L-1-40K7	6,496	116	6,832	122	6,888	123	6,776	121	6,944	124	56
NV-1-16L-1-50K7	6,720	120	7,168	128	7,224	129	7,112	127	7,280	130	56
NV-1-32L-7-27K7	6,447	91	7,313	103	7,313	103	7,246	102	7,379	104	71
NV-1-32L-7-30K7	7,952	112	7,810	110	7,810	110	7,739	109	7,881	111	71
NV-1-32L-7-40K7	8,236	116	9,017	127	8,449	119	8,307	117	8,520	120	71
NV-1-32L-7-50K7	8,520	120	9,159	129	8,875	125	8,733	123	8,946	126	71
NV-1-32L-1-27K7	11,116	105	10,917	103	11,314	107	11,067	104	11,414	108	106
NV-1-32L-1-30K7	11,872	112	11,660	110	12,084	114	11,820	112	12,190	115	106
NV-1-32L-1-40K7	12,296	116	12,932	122	13,038	123	12,826	121	13,144	124	106
NV-1-32L-1-50K7	12,720	120	13,568	128	13,674	129	13,462	127	13,780	130	106
NV-1-48L-7-27K7	10,906	105	10,711	103	10,711	103	10,614	102	10,809	104	104
NV-1-48L-7-30K7	11,648	112	11,440	110	11,440	110	11,336	109	11,544	111	104
NV-1-48L-7-40K7	12,064	116	13,208	127	12,376	119	12,168	117	12,480	120	104
NV-1-48L-7-50K7	12,480	120	13,520	130	13,000	125	12,792	123	13,104	126	104
NV-1-48L-1-27K7	16,359	105	16,067	103	16,651	107	16,359	105	16,798	108	156
NV-1-48L-1-30K7	17,472	112	17,160	110	17,784	114	17,472	112	17,940	115	156
NV-1-48L-1-40K7	18,096	116	19,032	122	19,188	123	18,876	121	19,344	124	156
NV-1-48L-1-50K7	18,720	120	19,968	128	20,124	129	19,812	127	20,280	130	156

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.

LUMENS CHART 64L ONLY

CAT#	N3	LM/W	T2	LM/W	T3	LM/W	T4	LM/W	T5	LM/W	CDL*	LM/W	CDR*	LM/W	W
NV-1-64L-7-27K7	14,262	105	14,007	103	14,007	103	13,880	102	14,135	104	5,797	43	5,725	42	136
NV-1-64L-7-30K7	15,232	112	14,960	110	14,960	110	14,824	109	15,096	111	6,191	46	6,190	46	136
NV-1-64L-7-40K7	15,776	116	17,272	127	16,184	119	15,912	117	16,320	120	6,689	49	6,689	49	136
NV-1-64L-7-50K7	16,320	120	17,680	130	17,000	125	16,728	123	17,136	126	7,013	52	6,689	49	136
NV-1-64L-1-27K7	21,252	106	21,114	106	21,882	109	21,498	107	22,074	110	8,695	43	8,588	43	200
NV-1-64L-1-30K7	22,960	115	22,550	113	23,370	117	22,960	115	23,575	118	9,286	46	9,286	46	200
NV-1-64L-1-40K7	23,780	119	25,010	125	25,215	126	24,805	124	25,420	127	10,034	50	10,033	50	200
NV-1-64L-1-50K7	24,600	123	26,240	131	26,445	132	26,035	130	26,650	133	10,519	53	10,033	50	200

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.

LUMEN MAINTENANCE DATA

Ambient Temperature	Drive Current	L90 Hours*	L70 Hours**	30,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours**
25°C	Up to 700mA	58,000	173,000	95.7%	91.6%	89.6%	82.1%
	1050mA	48,000	143,000	94.3%	89.5%	87.2%	78.5%

*Reported extrapolations per IESNA TM-21

**Projected extrapolations per IESNA TM-21

MULTIPLIERS FOR 70/80 CRI (Scaling Factor of 5000K 70 CRI)

CRI	70 CRI	80 CRI
2700K	0.8560	0.8015
3000K	-	0.8594
3500K	-	0.8594
4000K	-	0.9255
5000K	-	0.9255

PRODUCT SPECIFICATIONS

BUG RATINGS 16L, 32L, & 48L

CAT#	T2	T3	T4	T5
NV-1-16L-40-27K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G0
NV-1-16L-40-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G0
NV-1-16L-40-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G1
NV-1-16L-40-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G1
NV-1-16L-53-27K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G1
NV-1-16L-53-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G1
NV-1-16L-53-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G1
NV-1-16L-53-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G1
NV-1-16L-7-27K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B3-U0-G1
NV-1-16L-7-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B3-U0-G1
NV-1-16L-7-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B3-U0-G1
NV-1-16L-7-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B3-U0-G1
NV-1-16L-1-27K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B3-U0-G1
NV-1-16L-1-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	B3-U0-G1
NV-1-16L-1-40K7	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2
NV-1-16L-1-50K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2
NV-1-32L-7-27K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2
NV-1-32L-7-30K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2
NV-1-32L-7-40K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2
NV-1-32L-7-50K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2
NV-1-32L-1-27K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	B4-U0-G2
NV-1-32L-1-30K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	B4-U0-G2
NV-1-32L-1-40K7	B2-U0-G2	B2-U0-G2	B3-U0-G2	B4-U0-G2
NV-1-32L-1-50K7	B2-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G2
NV-1-48L-7-27K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	B4-U0-G2
NV-1-48L-7-30K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	B4-U0-G2
NV-1-48L-7-40K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	B4-U0-G2
NV-1-48L-7-50K7	B2-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G2
NV-1-48L-1-27K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G2
NV-1-48L-1-30K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G2
NV-1-48L-1-40K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3
NV-1-48L-1-50K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.

BUG RATINGS 64L

CAT#	T2	T3	T4	T5	CDL*	CDR*
NV-1-64L-7-27K7	B2-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G2	B1-U0-G2	B1-U0-G2
NV-1-64L-7-30K7	B2-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G2	B1-U0-G2	B1-U0-G2
NV-1-64L-7-40K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G2	B1-U0-G2	B1-U0-G2
NV-1-64L-7-50K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G2	B1-U0-G2	B1-U0-G2
NV-1-64L-1-27K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3	B1-U0-G2	B1-U0-G2
NV-1-64L-1-30K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3	B1-U0-G2	B1-U0-G2
NV-1-64L-1-40K7	B3-U0-G3	B3-U0-G3	B3-U0-G4	B5-U0-G3	B1-U0-G2	B1-U0-G2
NV-1-64L-1-50K7	B3-U0-G3	B3-U0-G3	B3-U0-G4	B5-U0-G3	B1-U0-G2	B1-U0-G2

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.

*64L Only



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PRODUCT SPECIFICATIONS

LUMEN HSS

PART NUMBER	T2 HSS	LM/W	BUG	T3 HSS	LM/W	BUG	T4 HSS	LM/W	BUG	W
NV-1-16L-40-27K7	1386	66	B0-U0-G0	1336	64	B0-U0-G0	1343	64	B0-U0-G0	21
NV-1-16L-40-30K7	1499	71	B0-U0-G0	1445	69	B0-U0-G0	1452	69	B0-U0-G0	21
NV-1-16L-40-40K7	1620	77	B0-U0-G0	1561	74	B0-U0-G0	1569	75	B0-U0-G0	21
NV-1-16L-40-50K7	1620	77	B0-U0-G0	1561	74	B0-U0-G0	1569	75	B0-U0-G0	21
NV-1-16L-530-27K7	1837	66	B0-U0-G0	1771	63	B0-U0-G0	1780	64	B0-U0-G1	28
NV-1-16L-530-30K7	1986	71	B0-U0-G0	1914	68	B0-U0-G1	1924	69	B0-U0-G1	28
NV-1-16L-530-40K7	2146	77	B0-U0-G0	2068	74	B0-U0-G1	2079	74	B0-U0-G1	28
NV-1-16L-530-50K7	2146	77	B0-U0-G0	2068	74	B0-U0-G1	2079	74	B0-U0-G1	28
NV-1-16L-700-27K7	2426	67	B0-U0-G1	2338	65	B0-U0-G1	2350	65	B0-U0-G1	36
NV-1-16L-700-30K7	2623	73	B0-U0-G1	2528	70	B0-U0-G1	2541	71	B0-U0-G1	36
NV-1-16L-700-40K7	2835	79	B0-U0-G1	2732	76	B0-U0-G1	2746	76	B0-U0-G1	36
NV-1-16L-700-50K7	2835	79	B0-U0-G1	2732	76	B0-U0-G1	2746	76	B0-U0-G1	36
NV-1-16L-1050-27K7	3639	65	B0-U0-G1	3508	63	B0-U0-G1	3526	63	B0-U0-G1	56
NV-1-16L-1050-30K7	3935	70	B1-U0-G1	3792	68	B0-U0-G1	3812	68	B0-U0-G1	56
NV-1-16L-1050-40K7	4252	76	B1-U0-G1	4098	73	B0-U0-G1	4119	74	B0-U0-G1	56
NV-1-16L-1050-50K7	4252	76	B1-U0-G1	4098	73	B0-U0-G1	4119	74	B0-U0-G1	56
NV-1-32L-700-27K7	4853	68	B1-U0-G1	4677	66	B0-U0-G1	4701	66	B0-U0-G1	71
NV-1-32L-700-30K7	5247	74	B1-U0-G1	5057	71	B0-U0-G1	5083	72	B1-U0-G2	71
NV-1-32L-700-40K7	5669	80	B1-U0-G1	5464	77	B0-U0-G2	5492	77	B1-U0-G2	71
NV-1-32L-700-50K7	5669	80	B1-U0-G1	5464	77	B0-U0-G2	5492	77	B1-U0-G2	71
NV-1-32L-1050-27K7	7279	69	B1-U0-G2	7015	66	B1-U0-G2	7051	67	B1-U0-G2	106
NV-1-32L-1050-30K7	7870	74	B1-U0-G2	7585	72	B1-U0-G2	7624	72	B1-U0-G2	106
NV-1-32L-1050-40K7	8504	80	B1-U0-G2	8196	77	B1-U0-G2	8238	78	B1-U0-G2	106
NV-1-32L-1050-50K7	8504	80	B1-U0-G2	8196	77	B1-U0-G2	8238	78	B1-U0-G2	106
NV-1-48L-700-27K7	7279	70	B1-U0-G2	7015	67	B1-U0-G2	7051	68	B1-U0-G2	104
NV-1-48L-700-30K7	7870	76	B1-U0-G2	7585	73	B1-U0-G2	7624	73	B1-U0-G2	104
NV-1-48L-700-40K7	8504	82	B1-U0-G2	8196	79	B1-U0-G2	8238	79	B1-U0-G2	104
NV-1-48L-700-50K7	8504	82	B1-U0-G2	8196	79	B1-U0-G2	8238	79	B1-U0-G2	104
NV-1-48L-1050-27K7	10918	70	B1-U0-G2	10523	67	B1-U0-G2	10577	68	B1-U0-G2	156
NV-1-48L-1050-30K7	11805	76	B1-U0-G2	11377	73	B1-U0-G2	11436	73	B1-U0-G2	156
NV-1-48L-1050-40K7	12755	82	B1-U0-G2	12293	79	B1-U0-G2	12356	79	B1-U0-G2	156
NV-1-48L-1050-50K7	12755	82	B1-U0-G2	12293	79	B1-U0-G2	12356	79	B1-U0-G2	156
NV-1-64L-700-27K7	9705	71	B1-U0-G2	9354	69	B1-U0-G2	9402	69	B1-U0-G2	136
NV-1-64L-700-30K7	10493	77	B1-U0-G2	10113	74	B1-U0-G2	10165	75	B1-U0-G2	136
NV-1-64L-700-40K7	11338	83	B1-U0-G2	10927	80	B1-U0-G2	10983	81	B1-U0-G2	136
NV-1-64L-700-50K7	11338	83	B1-U0-G2	10927	80	B1-U0-G2	10983	81	B1-U0-G2	136
NV-1-64L-1050-27K7	14558	71	B1-U0-G2	14031	68	B1-U0-G2	14103	69	B1-U0-G3	205
NV-1-64L-1050-30K7	15740	77	B1-U0-G2	15170	74	B1-U0-G3	15248	74	B1-U0-G3	205
NV-1-64L-1050-40K7	17007	83	B2-U0-G2	16391	80	B1-U0-G3	16475	80	B1-U0-G3	205
NV-1-64L-1050-50K7	17007	83	B2-U0-G2	16391	80	B1-U0-G3	16475	80	B1-U0-G3	205

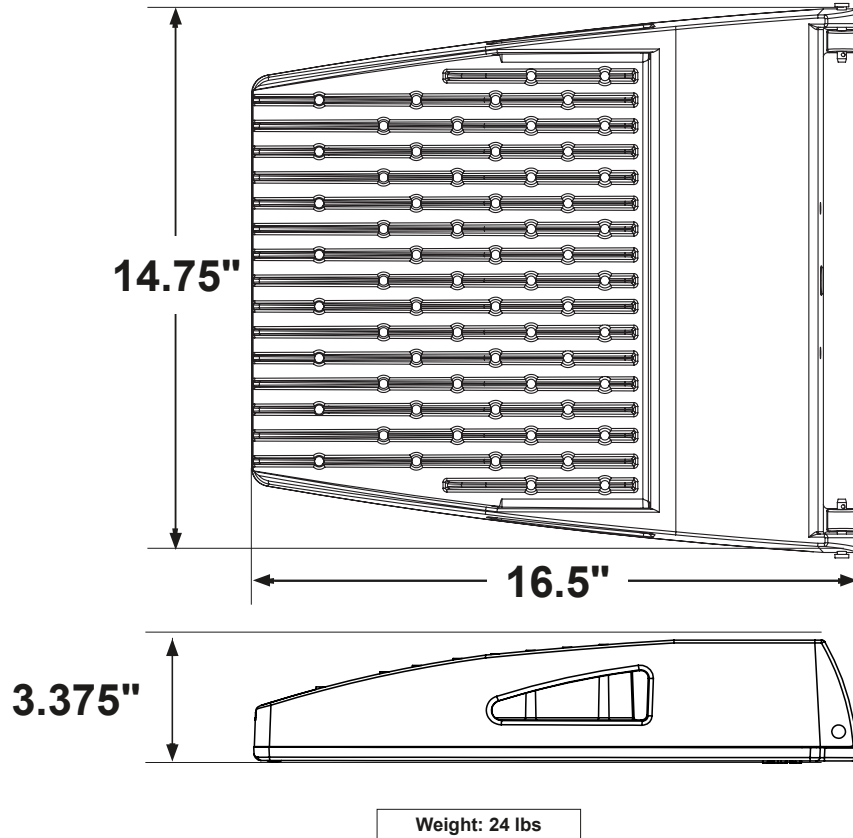
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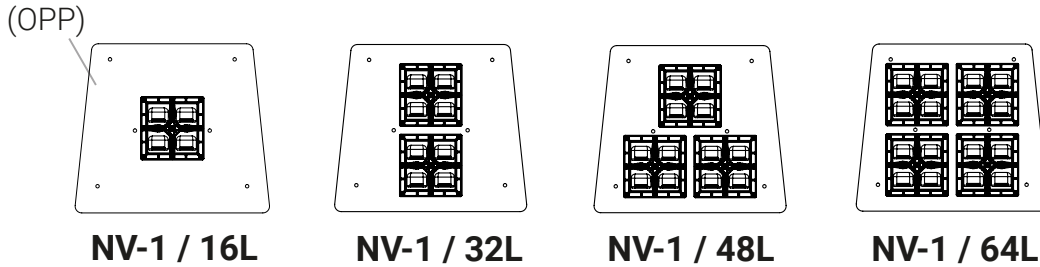
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PRODUCT SPECIFICATIONS



OPTICAL CONFIGURATIONS

Rotatable Optics (ROR) Rotated Right, (ROL) Rotated Left options available. Optics field and factory rotatable.

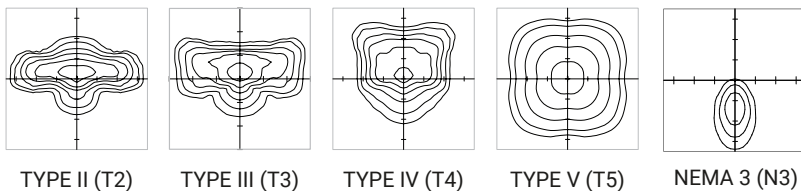


* OPTIC PLATE PAINTED TO MATCH FIXTURE FINISH (OPP)– Optic Plate standard clear anodized, Grade 2. When (OPP) specified, Optic Plate finish will match fixture finish.

OPTICS

Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.

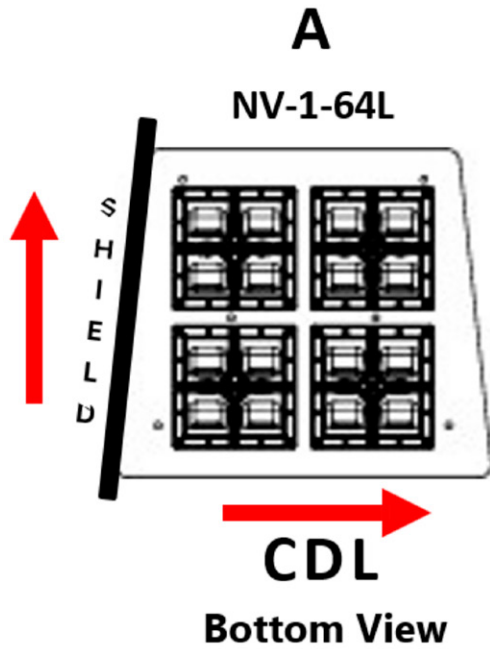
IES Types



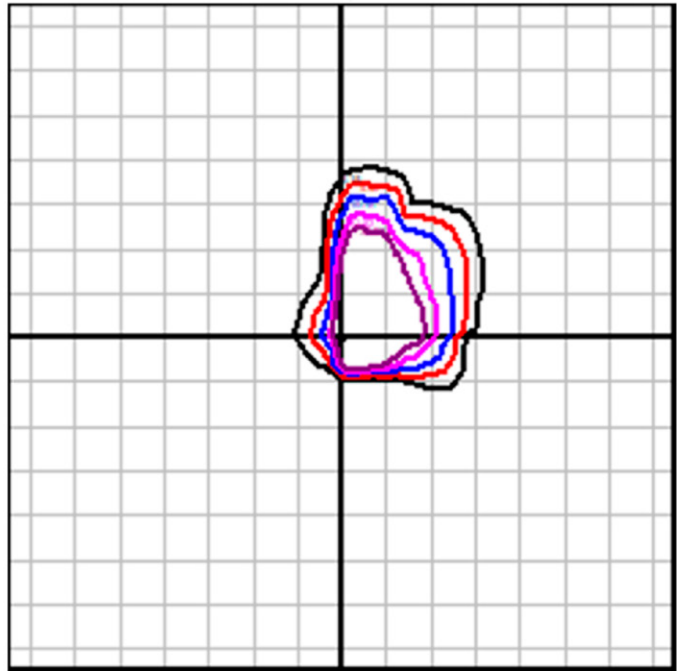
PRODUCT SPECIFICATIONS

OPTICAL CONFIGURATIONS (CONTINUED) - Corner Optics (CDL/CDR)

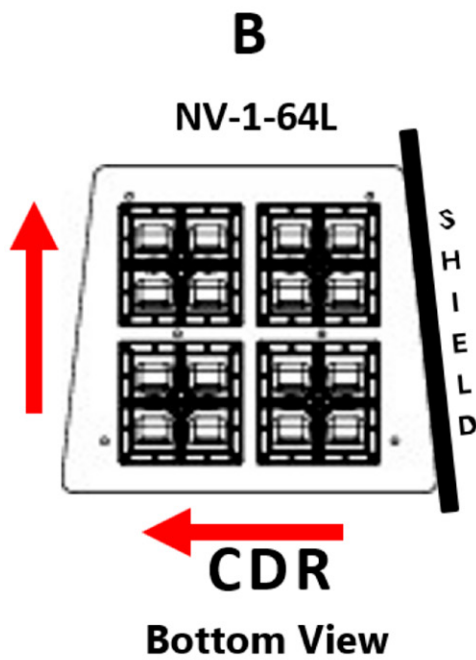
Blended optical distributions include a HSS over the optic and are aimed forward.
Fixtures also feature an external side mounted shield.



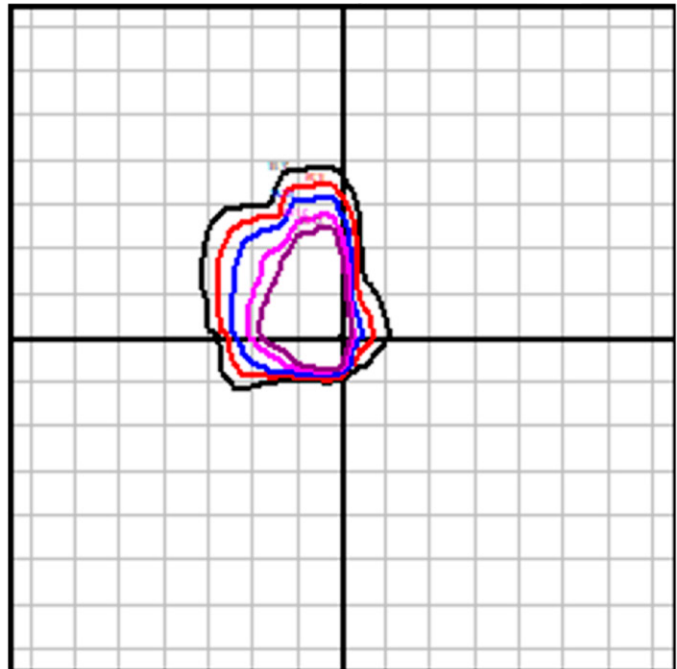
NV-64L-1-40K-CDL (205 Watts, 49LPW)



Mounting Height is 15ft, each sq equals 1 mounting height.



NV-64L-1-40K-CDR (205 Watts, 49LPW)



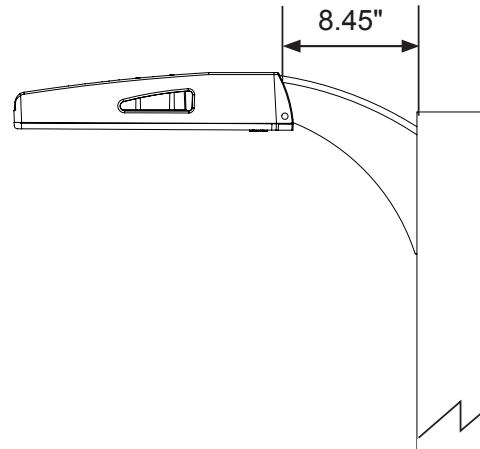
Mounting Height is 15ft, each sq equals 1 mounting height.

PRODUCT SPECIFICATIONS

MOUNTING OPTIONS

ARCHITECTURAL SWEEP ARM (ASA)

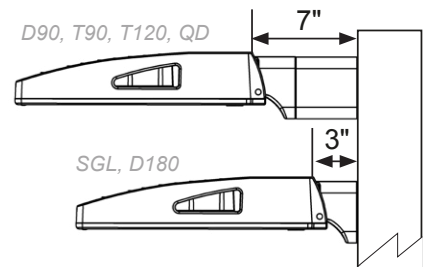
Cast Sweep Arm includes (as standard)
Internal Quick Mount Bracket.



DIRECT POLE (DP)

Standard mounting arm is extruded
aluminum in lengths of 3" and 7".

*Arm lengths may vary depending on configuration

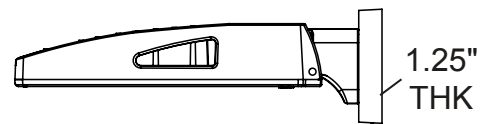


DPX ARM LENGTH

DPX ARM LENGTH	SGL	D90	D180	D180	T90	T120	QD
NV-1	3"	7"	3"	7"	7"	7"	7"

WALL MOUNT (WM)

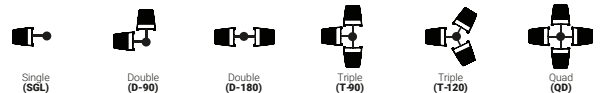
Cast Aluminum Plate for direct wall mount.
3" extruded aluminum arm mounts directly
to a cast wall mount box.



EPA

EPA	SGL	D90	D180	T90	T120	QD
NV-1-DP3	0.46	-	0.92	-	-	-
NV-1-DP7	-	1.14	1.05	1.34	1.37	1.34
NV-1-KM	0.54	N/A	1.08	N/A	N/A	N/A
NV-1-ASA	0.75	1.29	1.50	1.99	2.05	1.99

MOUNTING CONFIGURATION



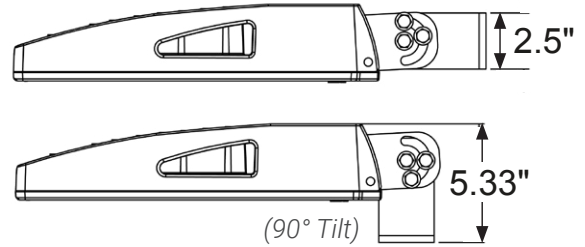
PRODUCT SPECIFICATIONS

MOUNTING OPTIONS

TRUNNION MOUNT (TM)

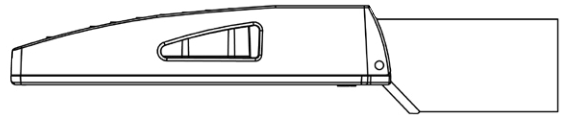
Steel, bolt-on-mounting for adjustable installation with a maximum uplift of 90 degrees.

**Unpainted stainless steel is standard*



TENNIS ARM (TA)

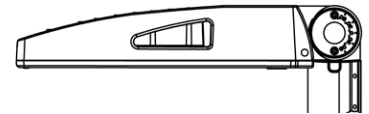
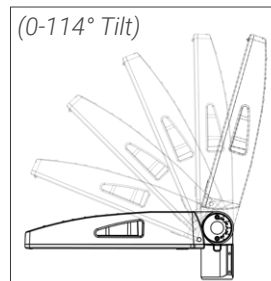
Steel fitter slips over 3.5" x 1.5" rectangular arm. *See Tennis Arm Spec Sheet for details



KNUCKLE MOUNT (KM)

Die Cast Knuckle great for adjustable installation on 2-3/8" OD vertical or horizontal tenon.

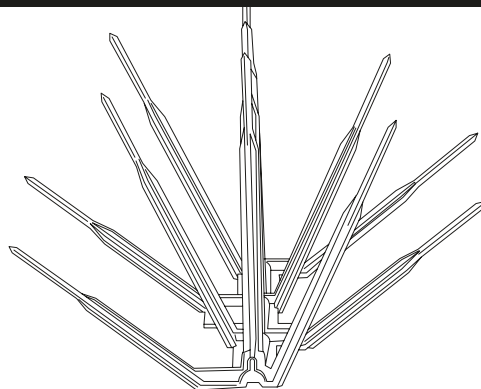
- Max Up-tilt of 90 degrees
- Adjustable in 6 degree increments
- 1.5G Vibration Rated per ANSI C136.31-2010



PRODUCT SPECIFICATIONS

BIRD SPIKES (BS)

Bird Spikes offers effective and humane deterrent for larger bird species and provides cost-effective long-term solution to nuisance bird infestations and protect your property.



MARINE GRADE FINISH (MGF)

The **(MGF)** is a multi step process. Chemically washed in a 5 stage cleaning system. Pre-baked. Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.



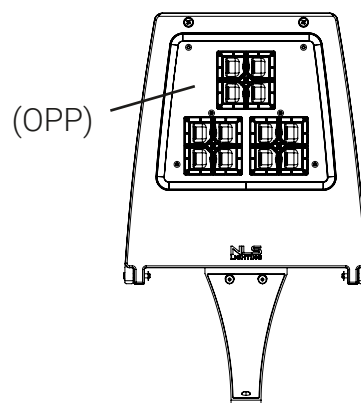
Powder Coat Finish
3-5 mil Powder Coat

Primer Layer
3-5 mil Zinc Rich Super Durable Polyester Primer

Prepared Casting
Chemically washed in multi Step 5 stage cleaning process

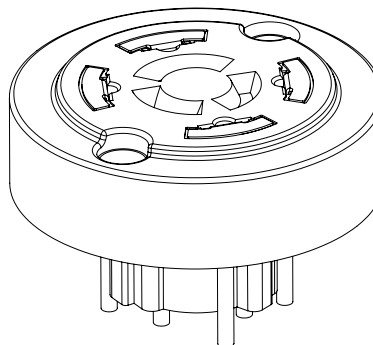
OPTIC PLATE PAINTED TO MATCH (OPP)

Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture.



NEMA 7-PIN RECEPTACLE (PE7)

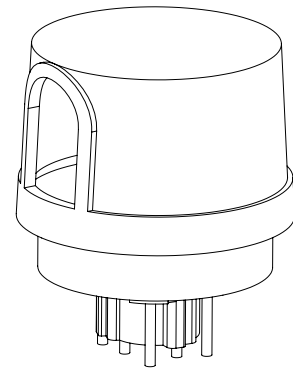
An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.



PRODUCT SPECIFICATIONS

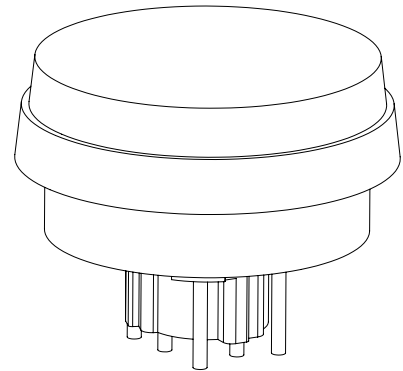
PHOTOCELL + RECEPTACLE (PCR)

7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation.



RECEPTACLE + SHORTING CAP (PER)

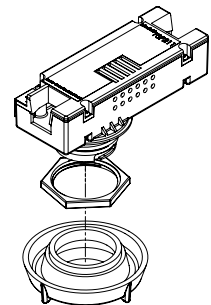
7-Pin Receptacle and Shorting Cap.



FSP-211 WITH MOTION SENSOR (FSP-XX)

- FSP-211 (FSP-X)—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution
- All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles
- FSP-20 mounting heights 9-20 feet
- FSP-40 mounting heights 21-40 feet
- Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field

FSP-211



QUICK MOUNT BRACKET (QMB)

Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern.



PRODUCT SPECIFICATIONS

RETROFIT MOUNT BRACKET (RQMB)

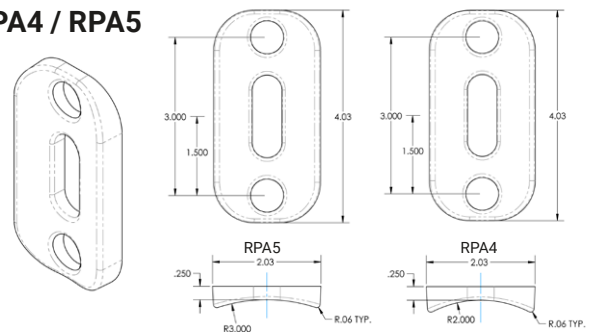
Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6".



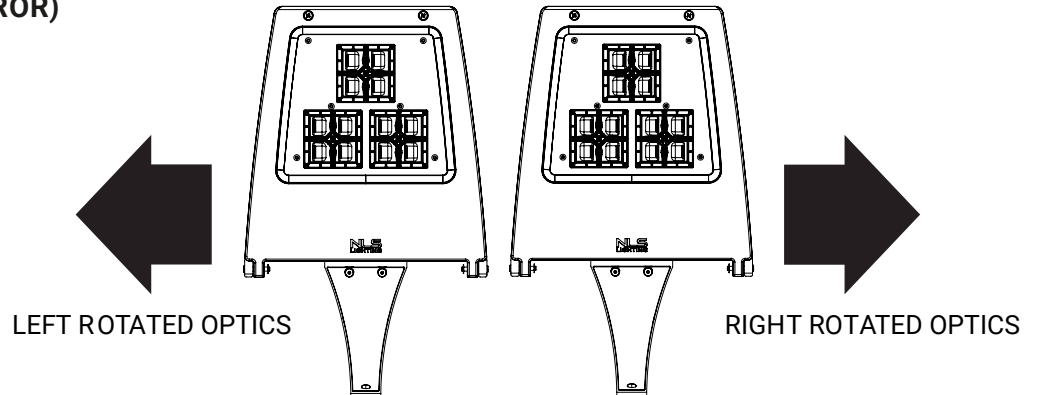
ROUND POLE ADAPTER OPTIONS (RPA4) (RPA5)

When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles.

RPA4 / RPA5



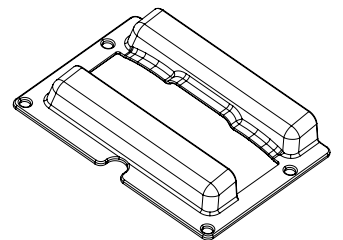
ROTATED OPTICS (ROL) (ROR)



SHIELDING OPTIONS (AHS) (HSS)

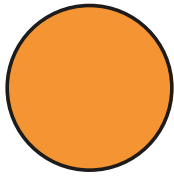
SHIELDS (HSS, AHS)—House Side Shield (HSS) is designed for full property line cut-off.

HOUSE SIDE SHIELD

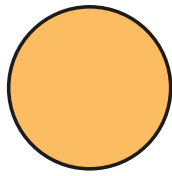


PRODUCT SPECIFICATIONS

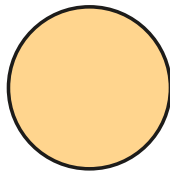
LED KELVIN RANGE



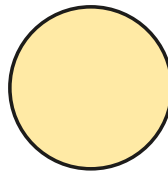
AMBER
585-600 nm



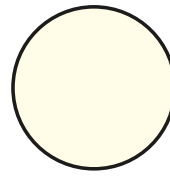
2700K 70 CRI



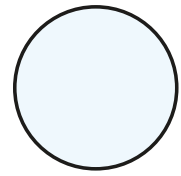
3000K 70 CRI



3500K 80 CRI



4000K 70 CRI



5000K 70 CRI

Color	Dominant or Peak Wavelength Range (nm)	
	Minimum	Maximum
Amber	585	600

BLACK HARDWARE

Optional black, zinc coated steel hardware.



BLACK OPTIC FRAME

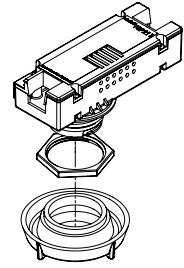
Optional Black Optic Frame.
Standard is white.



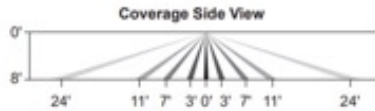
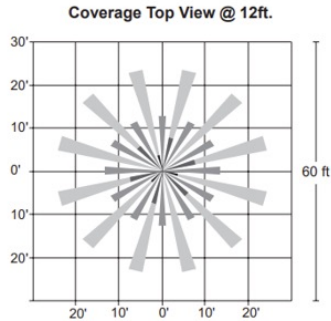
PRODUCT SPECIFICATIONS

CONTROLS

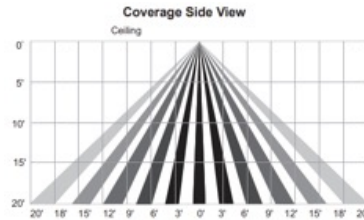
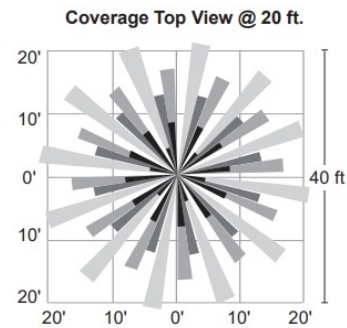
- DIMMING CONTROL (FSP)—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution
- All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles
- FSP-8 mounting heights 8 feet and below
- FSP-20 mounting heights 9-20 feet
- FSP-40 mounting heights 21-40 feet
- Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field



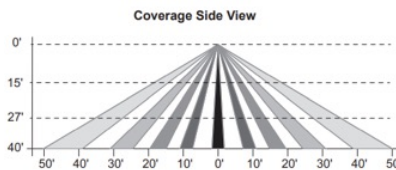
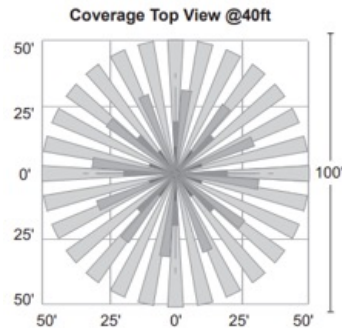
FSP-8



FSP-20



FSP-40





Job Name: PLATINUM HORIZON

Catalog #: CLI-NV-W-T4-1 □ L-7-40K7-UNV-WM-XX-XX-XX

TYPE:

WA



LED WATTAGE CHART

	16L	32L
400 milliamps	21w	-
530 milliamps	29w	-
700 milliamps	37w	71w
1000 milliamps	-	100w
1050 milliamps	56w	

KEY FEATURES

- Ideal for Exterior Walls, Entryways, Pathways, New Construction and Renovation, Warehouse and Receiving Docks, Court Yards, and School Playgrounds
- Sleek Minimalistic Design of the the NV-W (up to 11,000 Lumens, 12"W x 9"D x 5.5"H) Compliments the Design of the NV-W2 (up to 24,000 Lumens, 18"W x 9.38"D x 5"H)
- Amber, 2700K, 3000K, 3500K, 4000K, 5000K CCT Multichip High Power 70 & 80 CRI LEDs
- IP65 Rated Against Dust & Water Ingress, IK10 Rated for Tamper/ Vandalism/Impact Protection
- 20kA Surge Protection (120V - 480V) Cold Weather Integrated Battery Back-Up Safety Options
- Silicone Optics providing 96% Clarity and Heat Resistant up to 150°C
- 9 Standard Finishes, Custom Finish and Marine Grade Finish Available

- Controls Agnostic, Compatible with Most Control Systems and Sensors
- Environmentally Friendly Product Which Reduces Energy Consumption, L70 > 100,000 hours
- IDA qualified for 3000K CCT and Lower for Down-light Application, Reducing Light Pollution and Trespass
- Buy America(n) Option Available, Quick Mount for Easy Installation
- Cost Competitive and Short Shipping Lead Times in Days & Weeks

BUY AMERICAN

To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American Act), TAA (Trade American Act), or BABA (Build America, Buy America).



Project Name:

Type:

NV-W ORDERING GUIDE

Cat#	Light Dist.	# of LEDs	Miliamps	Kelvin	Volts
NV-W (NV-W)	Type 2 (T2)	16 (16L)	400 (40)	Amber 585-600nM (AMBER) ^{11,13,14}	120-277 (UNV)
	Type 3 (T3)	32 (32L)	530 (53)	2700K, 70 CRI (27K7) ⁷	347-480 (HV)
	Type 4 (T4)		700 (7)	2700K, 80 CRI (27K8) ^{1,7}	
			1000 (1A) ⁵	3000K, 70 CRI (30K7) ⁷	
			1050 (1) ⁶	3000K, 80 CRI (30K8) ^{1,7}	
				3500K, 80 CRI (35K8)	
				4000K, 70 CRI (40K7)	
				4000K, 80 CRI (40K8) ¹	
				5000K, 70 CRI (50K7)	
				5000K, 80 CRI (50K8) ¹	
Mounting	Color	Controls Options	Options	Lens Options	
Wall Mount (WM)	Bronze Textured (BRZ)	Nema 7-Pin Receptacle (PE7) ²	Marine Grade Finish (MGF)	Glass Lens (GL) ^{8,15}	
	White Textured (WHT)	Button Photocell (PC) ³	Vanity Plate 22"x16" (VP)	HAL Lens (HAL) ^{9,15}	
	Smooth White Gloss (SWT)	FSP-211 with Motion Sensor (UNV Voltage) *8' and Below (FSP-8) ³	Housing Extension (HE)		
	Silver Metallic (SVR)	*9'-20" Heights (FSP-20) ³	Surge Protector (20KA)		
	Black Textured (BLK)		Emergency Battery 4W (EM4) ^{2,3,4}		
	Smooth Black Gloss (SBK)		Emergency Battery 8W (EM8) ^{2,3,4}		
	Graphite Textured (GPH)		Emergency Cold Pk Battery 14W (EMCP) ^{2,3,4}		
	Grey Textured (GRY)		Black Hardware (BH)		
	Green Textured (GRN)		Black Optic Frame (BOF)		
	Hunter Green Textured (HGN)		Buy American Act (BAA) ¹²		
Custom (CS)		Trade Agreement Act (TAA) ¹²			
			Build America Buy American (BABA) ¹²		
			Custom Controls Integration (CCI) ¹⁰		

NOTES:

- Consult Factory for Lead Time. Consult Factory for 90 CRI Requests
- Requires Housing Extension
- Universal Voltage 120-27
- All Emergency Battery Options Certified CA Title 20
- (1A) 32L only
- (1) 16L only
- 3000K or lower must be selected to meet International Dark Sky Association certification
- Glass Lens: Low iron glass, fully tempered per ANSI C1047
- HAL Lens: Yellow Polycarbonate Lens – less than 2% Blue Light Content
- Please contact Factory for Custom Control Integration requests (nLight, NX, WaveLinx, Crestron, DMX/RDM, Synapse, Casambi, Dali II, Avi-On, or other control systems)
- Turtle Safe
- Consult factory for all BAA/TAA/BABA requests
- Consult Factory for Lead Time
- Not Available above 1000mA
- Contact Factory



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PRODUCT SPECIFICATIONS

ELECTRICAL

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- LED Drivers Ambient Temp. Min is -40°C and Ambient Temp. Max ranges from 50°C to 55°C and, in some cases, even higher. Consult the factory for revalidation by providing the fixture catalog string before quoting and specifying it.
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP66 compartment
- CRI 70, 80, 90
- Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K

CONSTRUCTION

- Die Cast Aluminum
- Internal cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP65 seal for electronics compartment
- Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB
- Silicone Micro Optics: Recessed, full cutoff, vandal resistant and non-yellowing
- Dark Sky Approved

OPTIONS

MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Prebaked, Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.

VANITY PLATE (VP) - Optional Vanity Plate was designed to cover the unsightly remains on a wall where a larger HID wallpack was removed. The aluminum Vanity Plate will be painted to match the finish of the NV-W2, custom finishes are available, please consult factory. The standard Vanity Plate is 22"W x 16"H.

20KA SURGE PROTECTOR (20KA) - protects the complete system against nominal surges of up to 20KA. Protection against power surges, storms and lightning strikes.

EMERGENCY BATTERY BACKUP

EMERGENCY COLD PACK BATTERY (EMPC) - Emergency cold pack (-20°C minimum) battery system available in 14W output.

BLACK HARDWARE (BH) - Black stainless steel hardware.

BLACK OPTIC FRAME (BOF) - Black optic frame. Standard is white.

GLASS LENS (GL) - Low Iron Glass, fully tempered.

HIGH PERFORMANCE AMBER LENS (HAL) -

CONTROL OPTIONS

- FSP-211 (FSP-X)—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
- All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
- FSP-8 Mounting heights 8 feet and below
- FSP-20 mounting heights 9-20 feet
- Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field. Programmable remote must be purchased separately.
- FSIR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering.
- Controls Agnostic: Please contact factory for your preferred controls option.

NEMA 7-PIN RECEPTACLE (PE7)—An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.

BUTTON PHOTOCELL—Dusk to dawn optional Button Photocell.

FINISH

3-5 mils electrostatic powder coat. NLS Lighting's standard high-quality finishes prevent corrosion, and protects against extreme environmental conditions.

WARRANTY

Five-year limited warranty for drivers and LEDs.

OPTICS

Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time.

LISTINGS

- Certified to UL 1598
- UL 8750
- CSA C22.2 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium Premium® (DLCP)
- IP65 Rated Fixture / IP67 Rated Optics
- IK10 Rated
- IDA Dark Sky Approved

BUY AMERICAN OPTION

While all of the NLS Lighting products listed in this document qualify for the Buy America(n) Act of 1933, we reserve the right to change our listings without notice.

The information provided above is for general informational purposes only. We encourage you to consult legal professionals for advice particular to your projects concerning BAA, TAA, BABA or Buy America.

Additional NLS Products that meet BAA, TAA standards can be found at the following link:

<https://nslighting.com/buy-american/>



The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.



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PRODUCT SPECIFICATIONS

LUMENS							
PART NUMBER	T2	LM/W	T3	LM/W	T4	LM/W	WATTS
NV-W-16L-40-27K7	2561	122	2591	123	2561	122	21
NV-W-16L-40-27K8	2398	114	2426	116	2398	114	21
NV-W-16L-40-30K8	2571	122	2601	124	2571	122	21
NV-W-16L-40-30K7	2769	132	2801	133	2769	132	21
NV-W-16L-40-35K8	2571	122	2601	124	2571	122	21
NV-W-16L-40-40K8	2769	132	2801	133	2769	132	21
NV-W-16L-40-40K7	2992	142	3027	144	2992	142	21
NV-W-16L-40-50K8	2769	132	2801	133	2769	132	21
NV-W-16L-40-50K7	2992	142	3027	144	2992	142	21
NV-W-16L-53-30K7	3544	122	3579	123	3544	122	29
NV-W-16L-53-40K7	3756	130	3794	131	3756	130	29
NV-W-16L-53-50K7	3756	130	3794	131	3756	130	29
NV-W-16L-7-30K7	4388	119	4432	120	4388	119	37
NV-W-16L-7-40K7	4651	126	4698	127	4651	126	37
NV-W-16L-7-50K7	4651	126	4698	127	4651	126	37
NV-W-16L-1-30K7	5970	107	6029	108	5970	107	56
NV-W-16L-1-40K7	6328	113	6391	114	6328	113	56
NV-W-16L-1-50K7	6328	113	6391	114	6328	113	56
NV-W-32L-53-30K7	X	X	X	X	6,821	126	54
NV-W-32L-7-30K7	9010	127	9100	128	9010	127	71
NV-W-32L-7-40K7	9550	135	9646	136	9550	135	71
NV-W-32L-7-50K7	9550	135	9646	136	9550	135	71
NV-W-32L-1A-30K7	10871	109	10983	110	10871	109	100
NV-W-32L-1A-40K7	11426	114	11544	115	11426	114	100
NV-W-32L-1A-50K7	11426	114	11544	115	11426	114	100

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.

EMERGENCY BATTERY BACK-UP LUMENS							
PART NUMBER	T2	LM/W	T3	LM/W	T4	LM/W	WATTS
EM4-30K7	520	130	524	131	516	129	4
EM4-40K7	544	136	548	137	540	135	4
EM4-50K7	560	140	564	141	556	139	4
EM8-30K7	1040	130	1048	131	1032	129	8
EM8-40K7	1088	136	1096	137	1080	135	8
EM8-50K7	1120	140	1128	141	1112	139	8
EM14-30K7	2080	130	2096	131	2064	129	16
EM14-40K7	2176	136	2192	137	2160	135	16
EM14-50K7	2240	140	2256	141	2224	139	16
EMCP-30K7	1820	130	1834	131	1806	129	14
EMCP-40K7	1904	136	1918	137	1890	135	14
EMCP-50K7	1960	140	1974	141	1946	139	14



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PRODUCT SPECIFICATIONS

BUG RATINGS BUG RATINGS

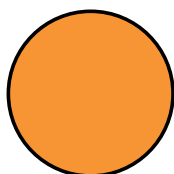
PART NUMBER	T2	T3	T4	WATTS
NV-W-16L-35-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	21
NV-W-16L-35-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	21
NV-W-16L-35-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	21
NV-W-16L-53-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	29
NV-W-16L-53-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	29
NV-W-16L-53-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	29
NV-W-16L-7-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	37
NV-W-16L-7-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	37
NV-W-16L-7-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	37
NV-W-16L-1-30K7	B1-U0-G1	B1-U0-G2	B1-U0-G2	56
NV-W-16L-1-40K7	B1-U0-G1	B1-U0-G2	B1-U0-G2	56
NV-W-16L-1-50K7	B1-U0-G1	B1-U0-G2	B1-U0-G2	56
NV-W-32L-7-30K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	71
NV-W-32L-7-40K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	71
NV-W-32L-7-50K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	71
NV-W-32L-1A-30K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	100
NV-W-32L-1A-40K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	100
NV-W-32L-1A-50K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	100

Lumen Maintenance Data

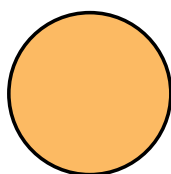
Ambient Temperature	Drive Current	L90 Hours*	L70 Hours**	30,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours**
25°C	Up to 700mA	58,000	173,000	95.7%	91.6%	89.6%	82.1%
	1050mA	48,000	143,000	94.3%	89.5%	87.2%	78.5%

*Reported extrapolations per IESNA TM-21 **Projected extrapolations per IESNA TM-21

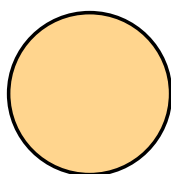
LED KELVIN RANGE



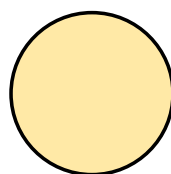
AMBER
585-600 nm



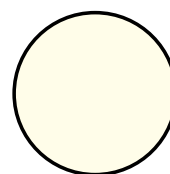
2700K 70 CRI



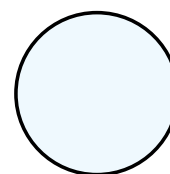
3000K 70 CRI



3500K 80 CRI



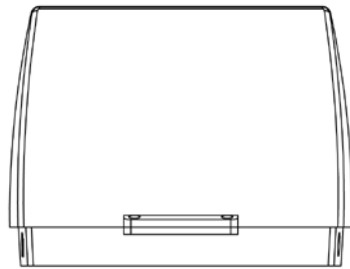
4000K 70 CRI



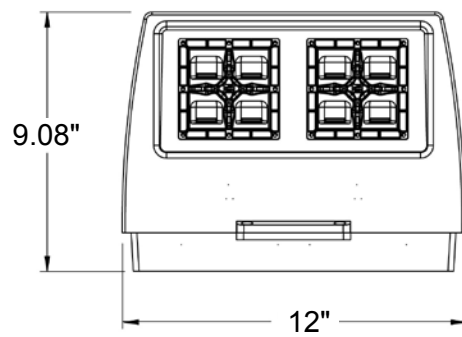
5000K 70 CRI

Color	Dominant or Peak Wavelength Range (nm)	
	Minimum	Maximum
Amber	585	600

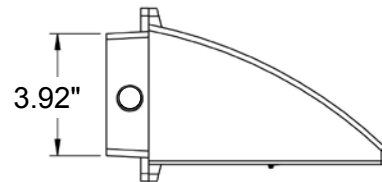
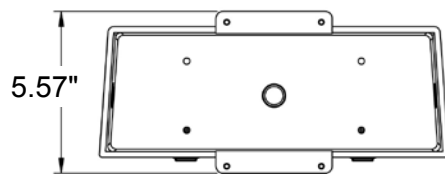
PRODUCT SPECIFICATIONS



TOP VIEW

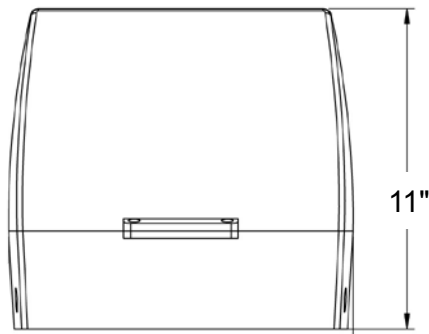


BOTTOM VIEW

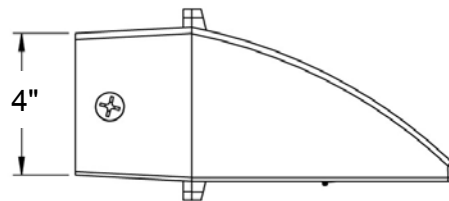


Weight: 9.1 lbs

EMERGENCY BATTERY AND 7-PIN EXTENSION BOX DIMENSIONS



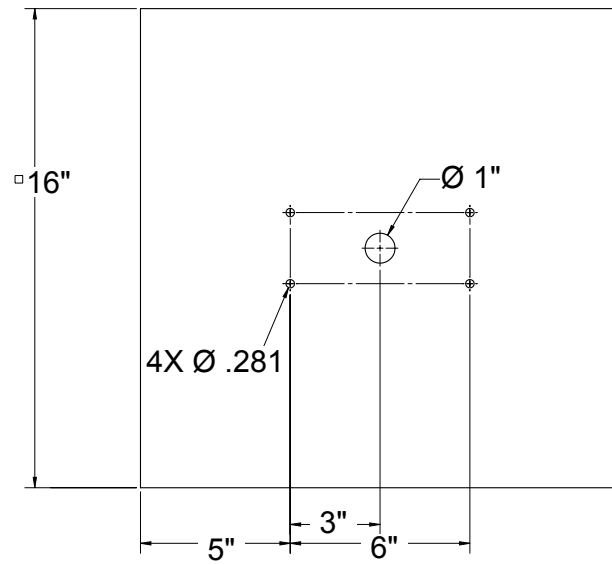
TOP VIEW



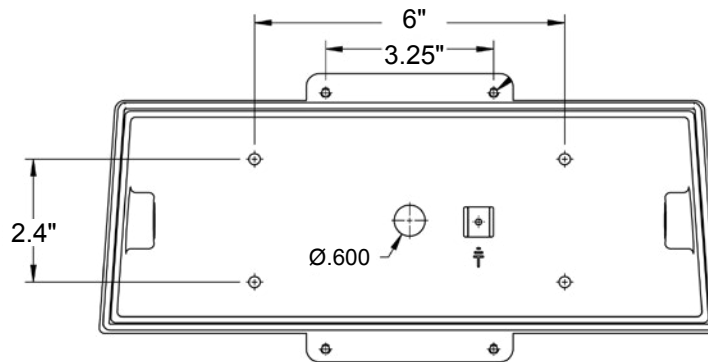
Weight: 13.3 lbs

PRODUCT SPECIFICATIONS

VANITY PLATE (VP)



MOUNTING HOLE

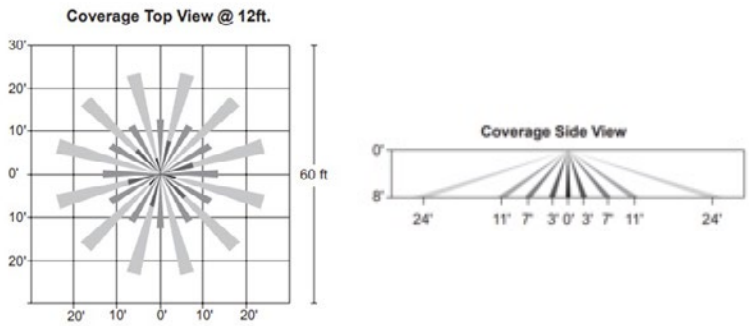


* 3 Conduit access points on either side or center back.

MOTION SENSOR PLACEMENT



FSP-8



FSP-20

